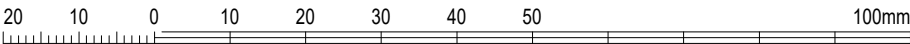


MODIFICATION PLANS

AT 9 DOUST STREET, BASS HILL

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A02.03	SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN
A02.04	WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN
A02.05	LANDSCAPING PLAN
A02.06	SITE CALCULATIONS
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A03.03	DW2 - GROUND FLOOR
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A03.05	WINDOW & DOOR SCHEDULES
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A12.1	DW1 3 HOURS OF SUNLIGHT TO LIVING
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A16	DW1 - ABSA CERTIFICATE
A17	DW2 - ABSA CERTIFICATE





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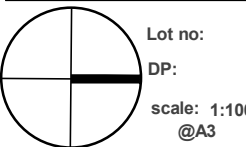
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A01

Sheet Name: COVER PAGE

Address: 9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS



Client: SAAD

Drawn by :AK

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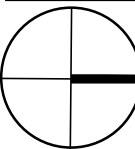


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Sheet Name: SUBDIVISION PLAN

Address: 9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS



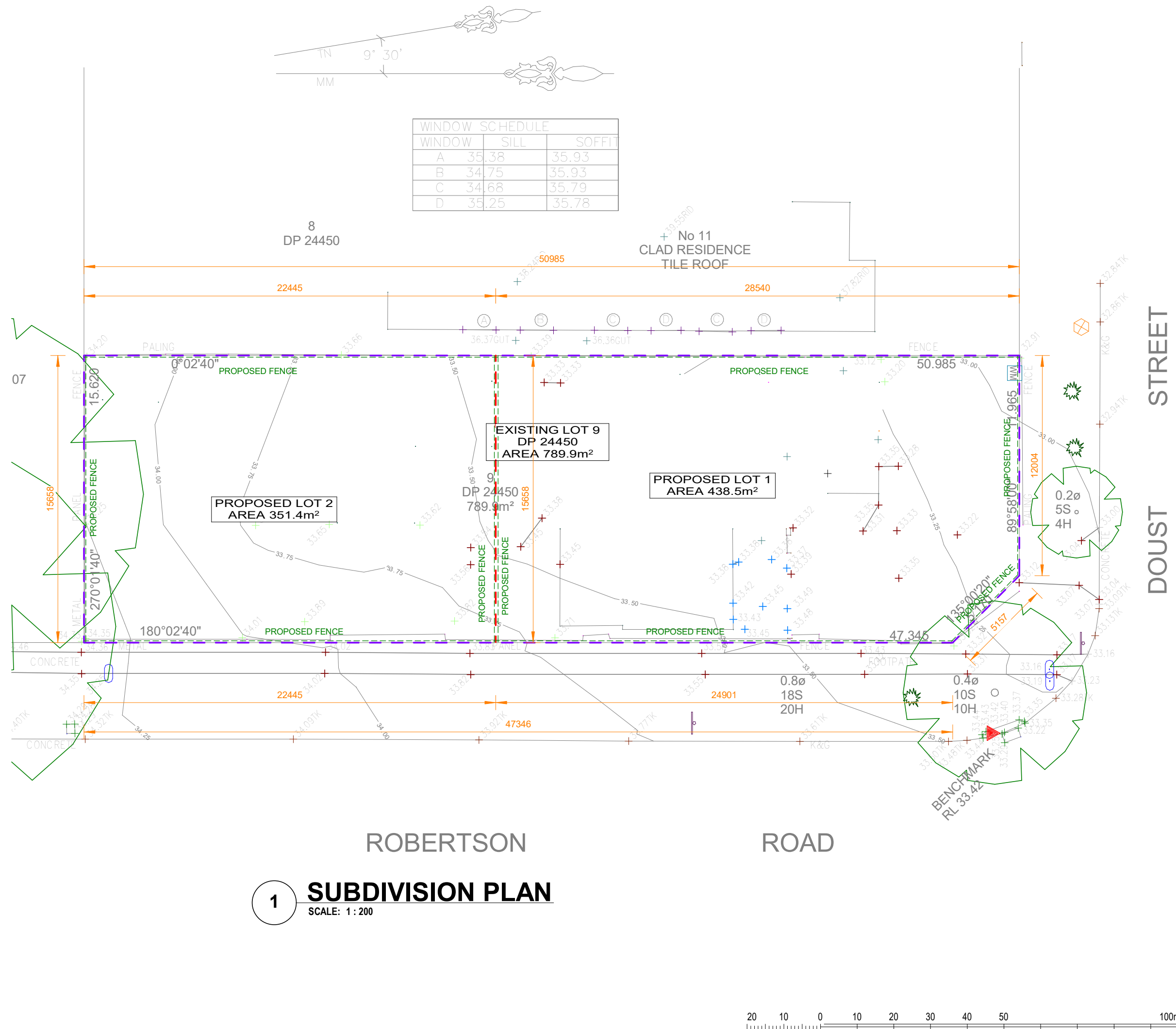
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Client: SAAD

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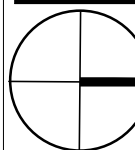


A02.03

Sheet Name: SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN

Address: 9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS



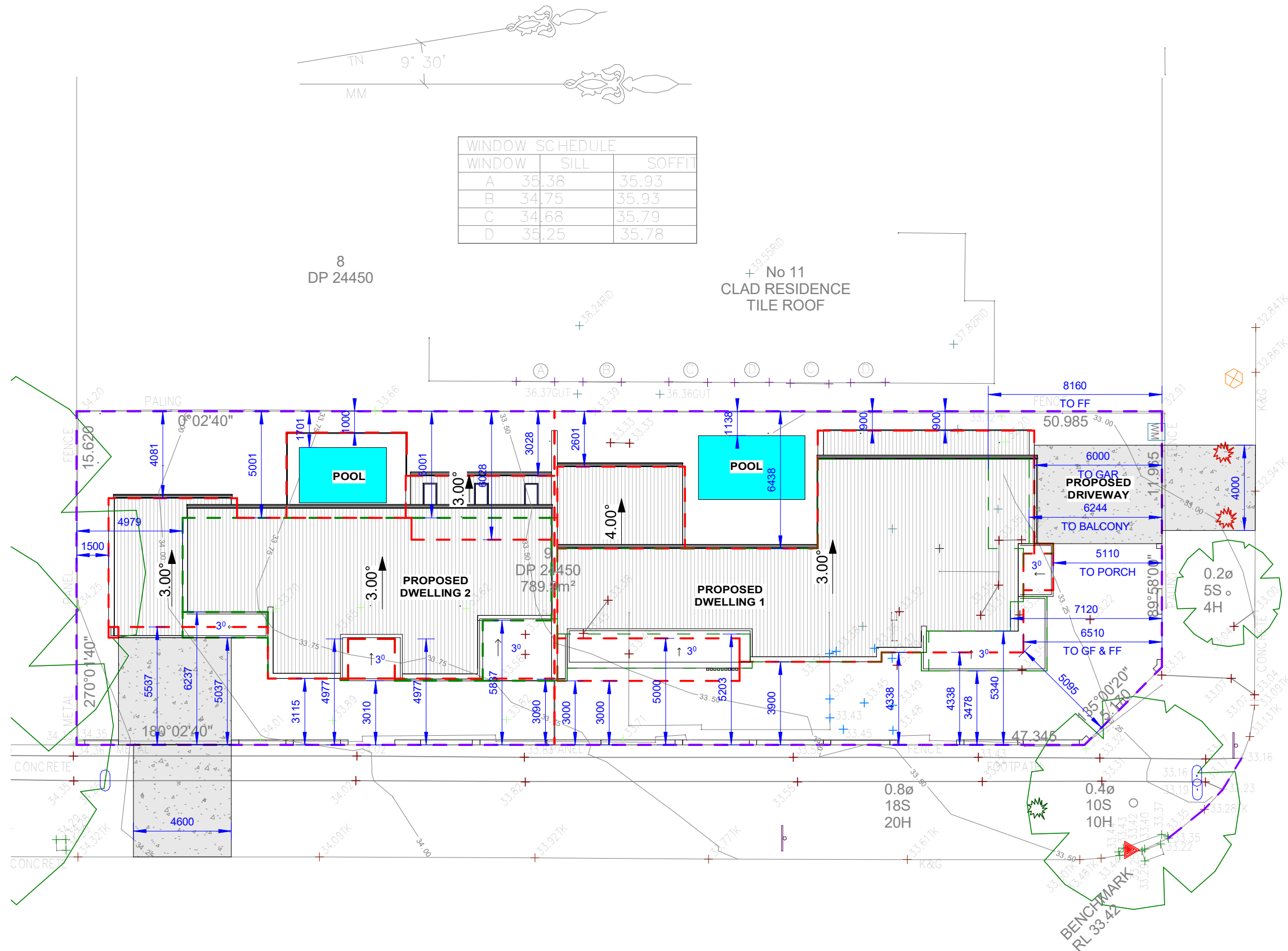
Lot no:
DP:
scale: 1:100
@A3

Client: SAAD

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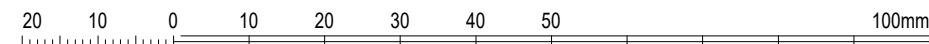


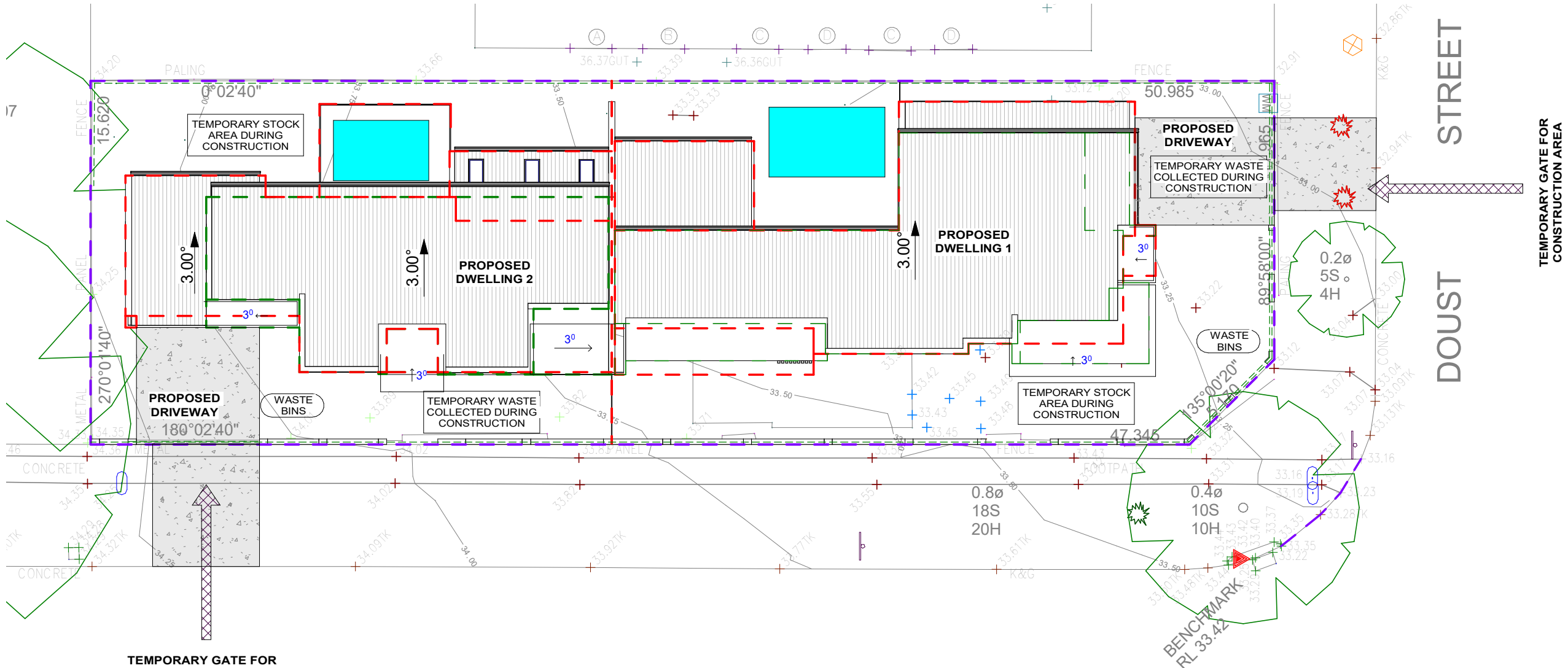
1

SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN

SCALE: 1:200

- SITE BOUNDARY
- PROPOSED GROUND FLOOR OUTLINE
- PROPOSED FIRST FLOOR OUTLINE

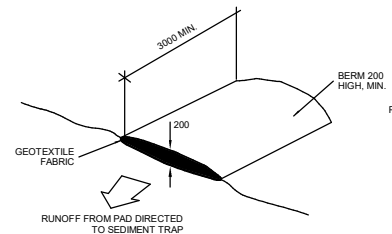




WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN

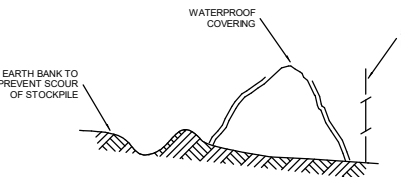
SCALE: 1 : 200

- SITE BOUNDARY
- SEDIMENT CONTROL FENCE
- TEMPORARY FENCE



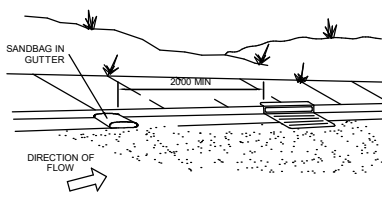
VEHICLE ACCESS TO SITE

NTS
VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



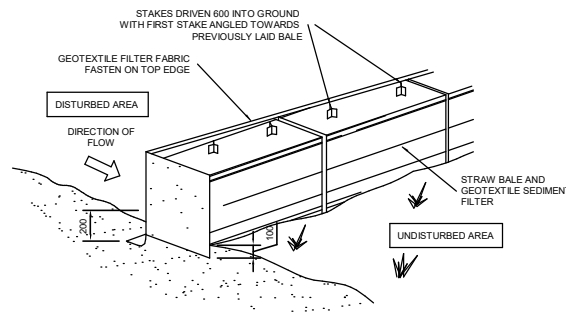
BUILDING MATERIAL STOCKPILES

NTS
ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION. THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



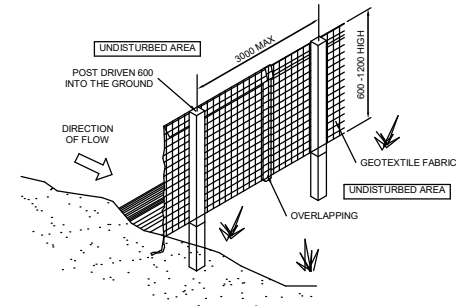
SANDBAG KERB SEDIMENT TRAP

NTS
IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.



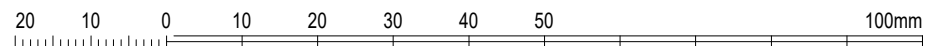
STRAW BALE DETAIL

NTS



SEDIMENT AND EROSION FENCE DETAIL

NTS



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A02.04

WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION
CONTROL PLAN

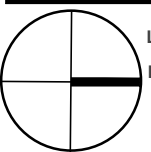
9 DOUST STREET, BASS HILL

ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS

Sheet Name:

Address:

Project Name:



Lot no:

DP:

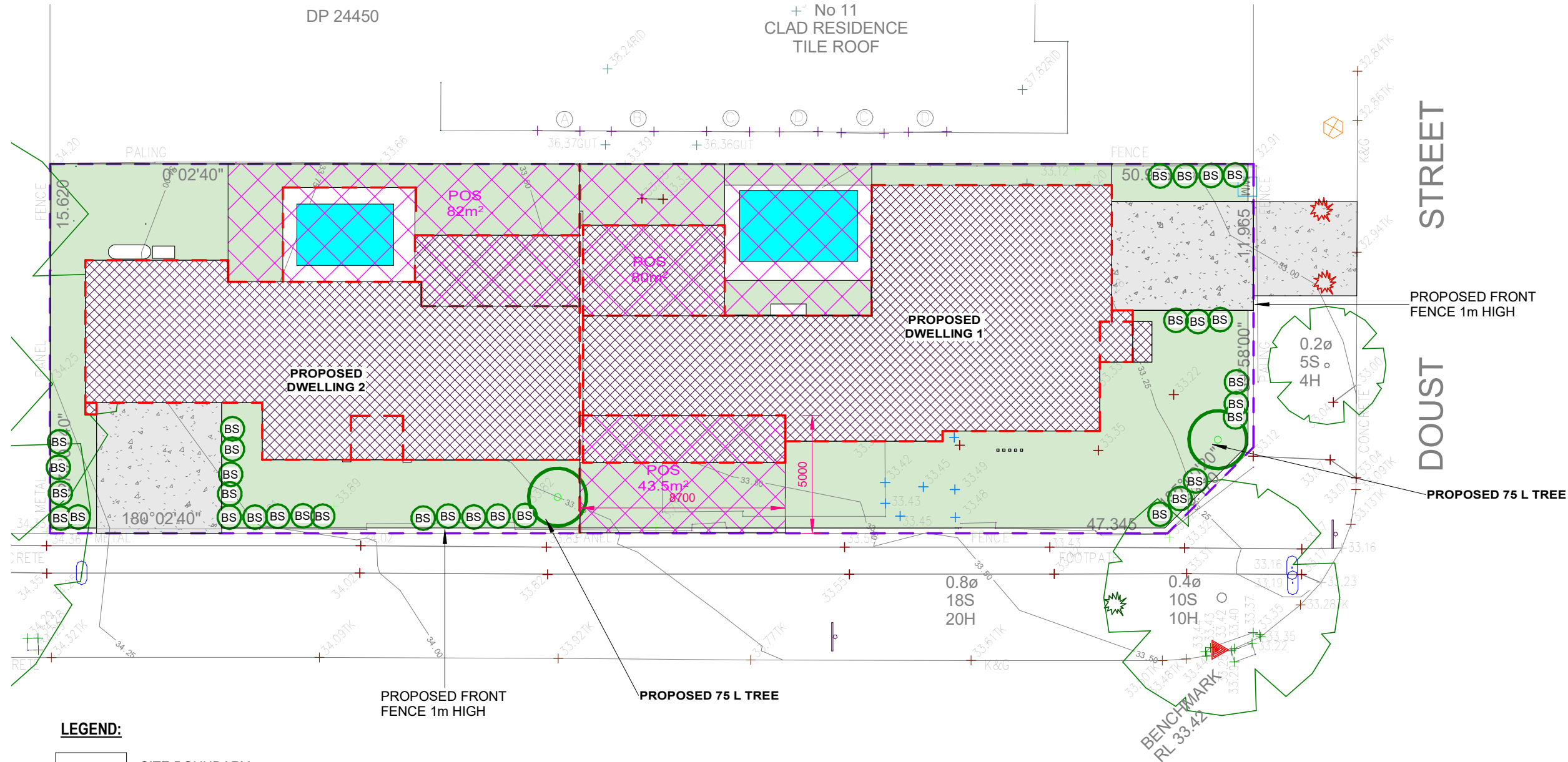
scale: 1:100
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Client: SAAD

Drawn by: AK

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LEGEND:

- SITE BOUNDARY
- PROPOSED DWELLING
- PROPOSED DRIVEWAY & CONCRETE AREAS
- PROPOSED LANDSCAPING
- MIN. POS 80m²

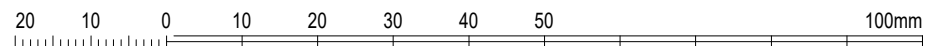
PLANTING SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE SIZE	TYPE
BS	BURSARIA SPINOSA	BLACKTORN	1M	SHRUB
T1-2	ACACIA BINERVIA	MYALL WATTLE	5M	TREE

- BS PROPOSED SHRUB
Bursaria Spinosa (Blacktorn) 1m
- T1-2 PROPOSED TREE
Acacia Binervia (Myall Wattle) 5m
SIZE: MIN. 75 LTR

1

LANDSCAPING PLAN

SCALE: 1:200



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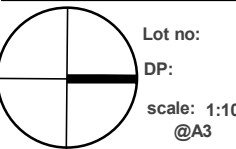


A02.05

Sheet Name: LANDSCAPING PLAN

Address: 9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS

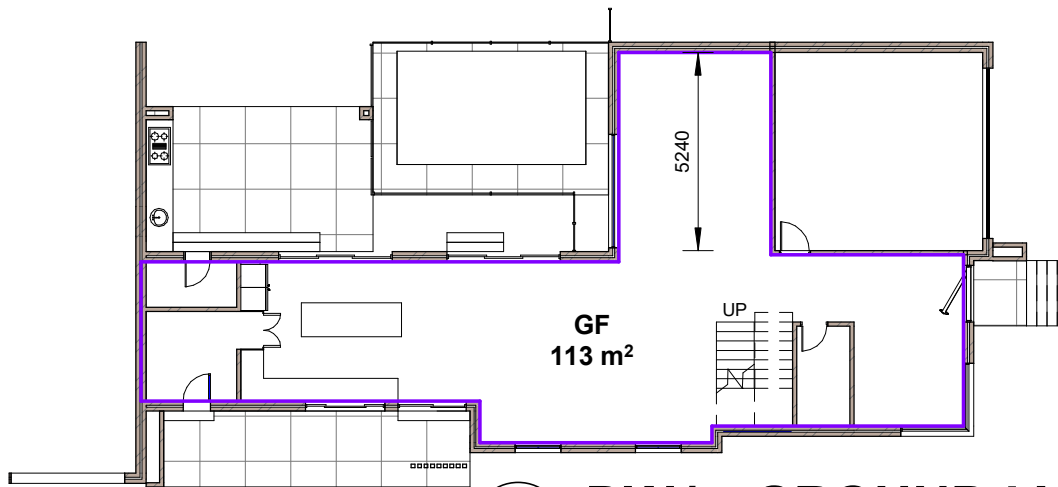


Client: SAAD

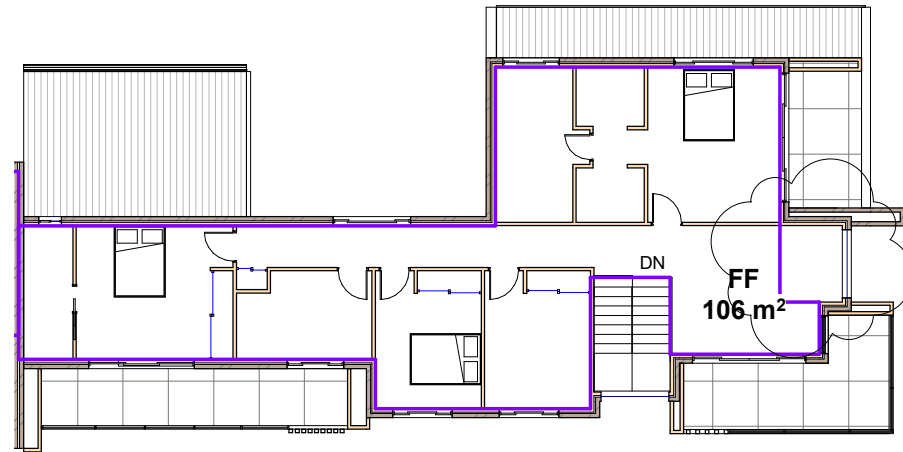
Drawn by :AK

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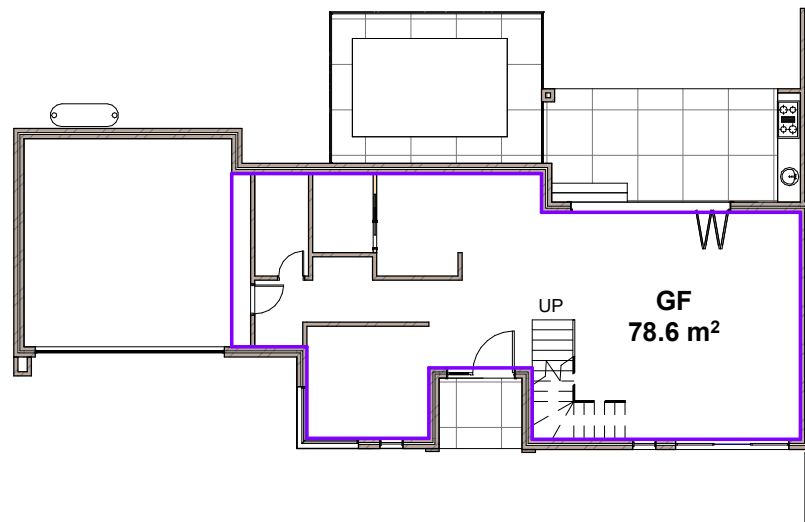
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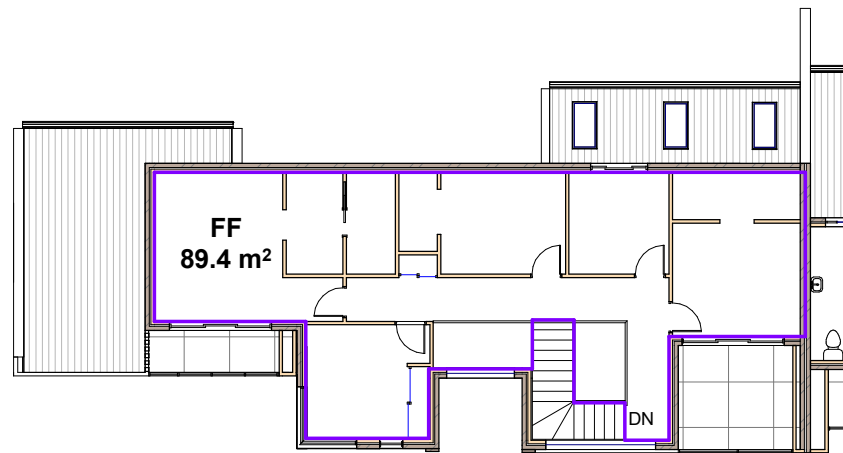
1 **DW1 - GROUND LV**
SCALE: 1 : 200



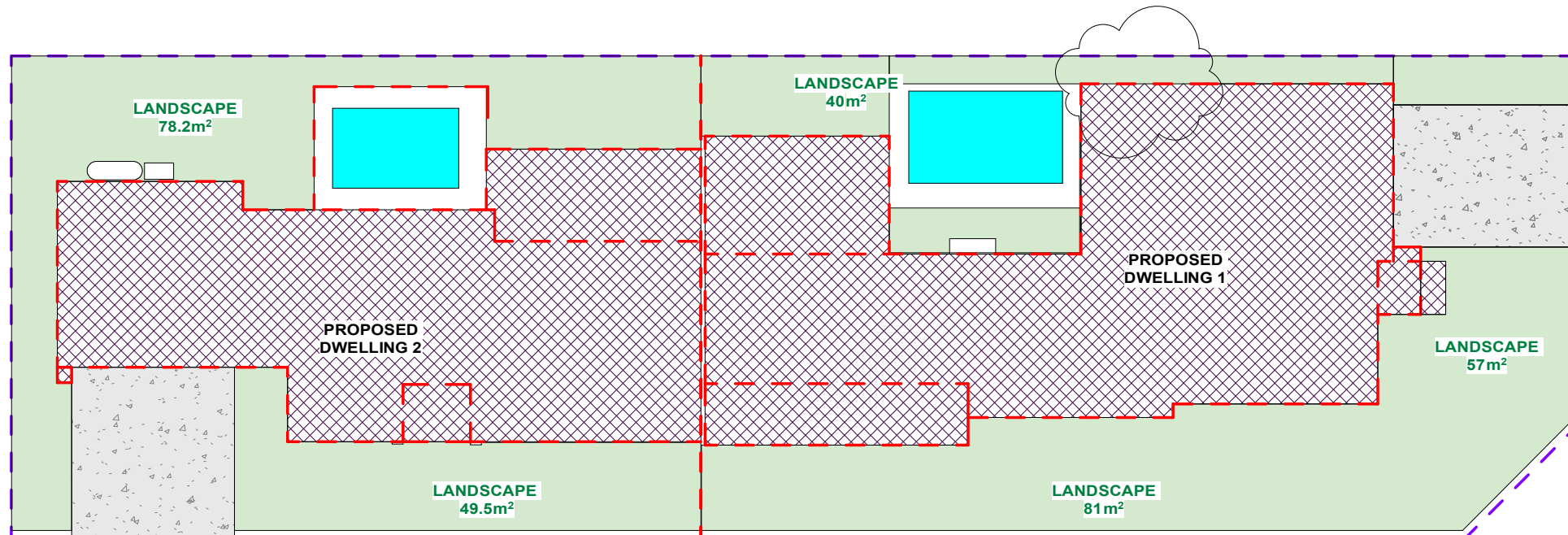
2 **DW1 - FIRST LV**
SCALE: 1 : 200



3 **DW2 - GROUND LV**
SCALE: 1 : 200



4 **DW2 - FIRST LV**
SCALE: 1 : 200

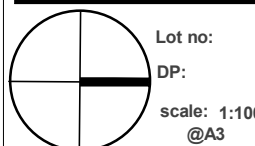


5 **LANDSCAPING**
SCALE: 1 : 200

SITE CALCULATIONS FOR LOT 1	
FLOOR AREA CALCULATIONS	
SITE AREA:	438.5m ²
AREA OF THE PROPOSED GROUND FLOOR:	113m ²
AREA OF THE PROPOSED FIRST FLOOR:	106m ²
MAX. TOTAL FLOOR AREA	219.25m²
50% OF SITE AREA = 0.5 x 438.5m ² =	
PROPOSED TOTAL FLOOR AREA:	219m² < 219.25m²
LANDSCAPING CALCULATIONS	
MIN. LANDSC. FORWARD OF BUILDING LINE:	40.05m ²
45% OF THE FORWARD AREA = 0.45 x 89m ²	
PROPOSED LANDSCAPING AT FRONT:	57m ² > 40.05m ²
PROPOSED LANDSCAPING AT REAR:	107m ²
PROPOSED TOTAL LANDSCAPED AREA:	179m²
SITE CALCULATIONS FOR LOT 2	
FLOOR AREA CALCULATIONS	
SITE AREA:	351.4m ²
AREA OF THE PROPOSED GROUND FLOOR:	78.6m ²
AREA OF THE PROPOSED FIRST FLOOR:	89.4m ²
MAX. TOTAL FLOOR AREA	175.7m²
50% OF SITE AREA = 0.5 x 351.4m ² =	
PROPOSED TOTAL FLOOR AREA:	168m² < 175.7m²
LANDSCAPING CALCULATIONS	
MIN. LANDSC. FORWARD OF BUILDING LINE:	41.22m ²
45% OF THE FORWARD AREA = 0.45 x 91.6m ²	
PROPOSED LANDSCAPING AT FRONT:	49.5m ² > 41.22m ²
PROPOSED LANDSCAPING AT REAR:	78.2m ²
PROPOSED TOTAL LANDSCAPED AREA:	127.7m² (36.3%)

A02.06

Sheet Name: **SITE CALCULATIONS**
Address: **9 DOUST STREET, BASS HILL**
Project Name: **ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS**

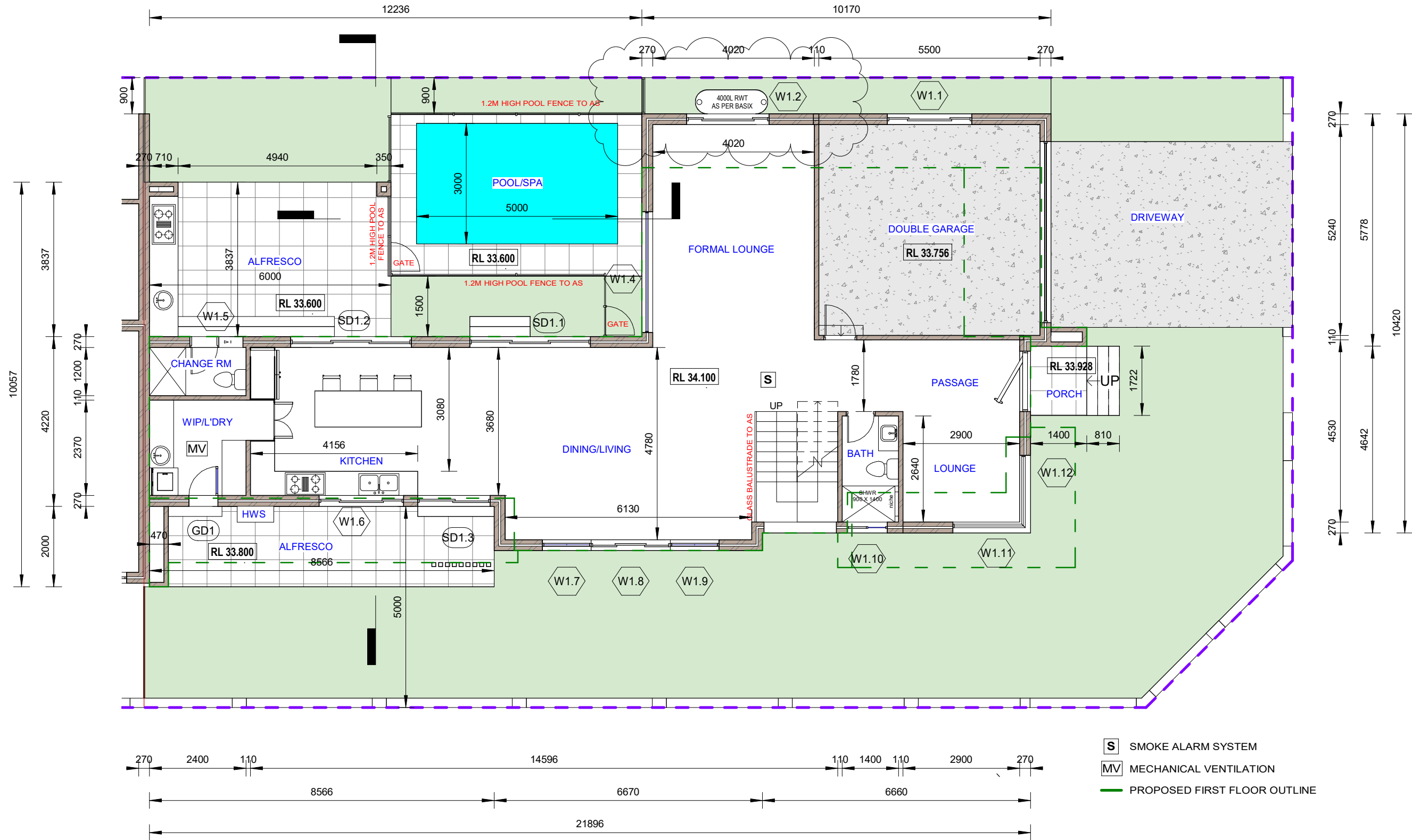


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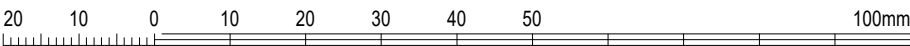
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1 **GROUND LV-DW1**
SCALE: 1 : 100






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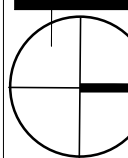
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A03.01

Sheet Name: **DW1 - GROUND FLOOR**

Address: **9 DOUST STREET, BASS HILL**

Project Name: **ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS**

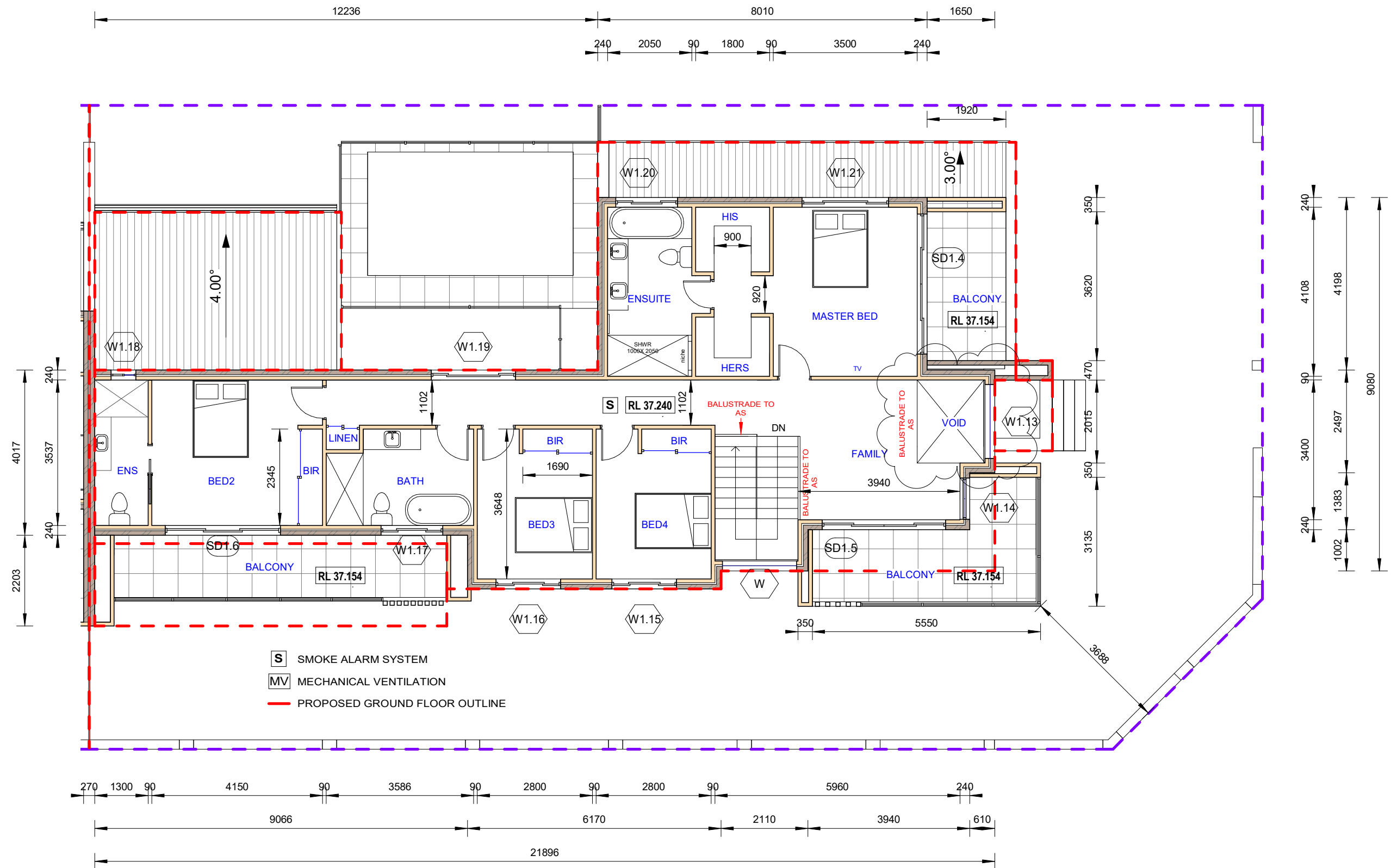


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DP:
scale: 1:100
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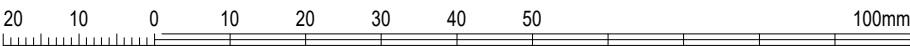
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1 UPPER LV - DW1
SCALE: 1 : 100



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A03.02

Sheet Name: **DW1- UPPER FLOOR**

Address: **9 DOUST STREET, BASS HILL**

Project Name: **ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS**

Lot no:
 DP:
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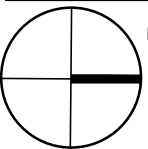


A03.03

Sheet Name: DW2 - GROUND FLOOR

Address: 9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS



Lot no:

DP:

scale: 1:100
@A3

Client: SAAD

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- S** SMOKE ALARM SYSTEM
- MV** MECHANICAL VENTILATION
- PROPOSED FIRST FLOOR OUTLINE

1

GROUND LV - DW2

SCALE: 1 : 100

20 10 0 10 20 30 40 50 100mm



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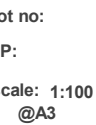


A03.04

Sheet Name: DW2 - UPPER FLOOR

Address: 9 DOUST STREET, BASS HILL

Project Name: AT IACHED DUAL OCCUPANCY WITH SWIMMING POOLS



Client: SAAD

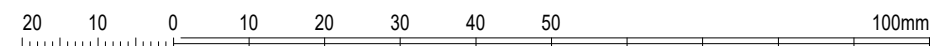
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- S** SMOKE ALARM SYSTEM
MV MECHANICAL VENTILATION
— PROPOSED GROUND FLOOR OUTLINE



Window Schedule - DW1		
Mark	Height	Width

W1.1	600	2100
W1.2	800	2050
W1.4	2100	3000
W1.5	600	600
W1.6	1200	2100
W1.7	2100	1210
W1.8	750	1970
W1.9	2100	1210
W1.10	600	1000
W1.11	2100	1800
W1.12	2100	1800
W1.13	2100	1800
W1.14	2100	1000
W1.15	1200	1570
W1.16	1200	1570
W1.17	600	1500
W1.18	600	600
W1.19	600	2050
W1.20	900	1500
W1.21	850	2100

Door Schedule-DW1		
Mark	Height	Width

SD1.1	2340	3000
SD1.2	2340	3000
SD1.3	2340	1800
SD1.4	2400	3400
SD1.5	2400	3000
SD1.6	2400	2800

Window Schedule - DW2		
Mark	Height	Width

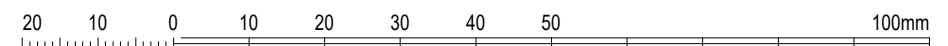
W2.1	600	2100
W2.2	2100	1500
W2.3	2100	1500
W2.4	2100	610
W2.5	2100	610
W2.6	2100	3000
W2.7	1200	2300
W2.8	600	900
W2.9	600	600
W2.10	600	2100
W2.11	900	1500
W2.12	2400	2900
W2.13	2700	1800
W2.14	1800	610
W2.15	1800	1500
W2.16	1800	1500
W2.17	600	2100

Door Schedule-DW2		
Mark	Height	Width

SD2.1	2400	4200
SD2.2	2400	2700
SD2.3	2400	2700

SKYLIGHT Schedule - DW2		
Mark	Height	Width

SK1	1200	600
SK2	1200	600
SK3	1200	600



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A03.05

WINDOW & DOOR SCHEDULES

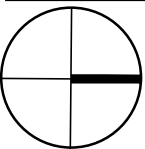
9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS

Sheet Name:

Address:

Project Name:



ot no:

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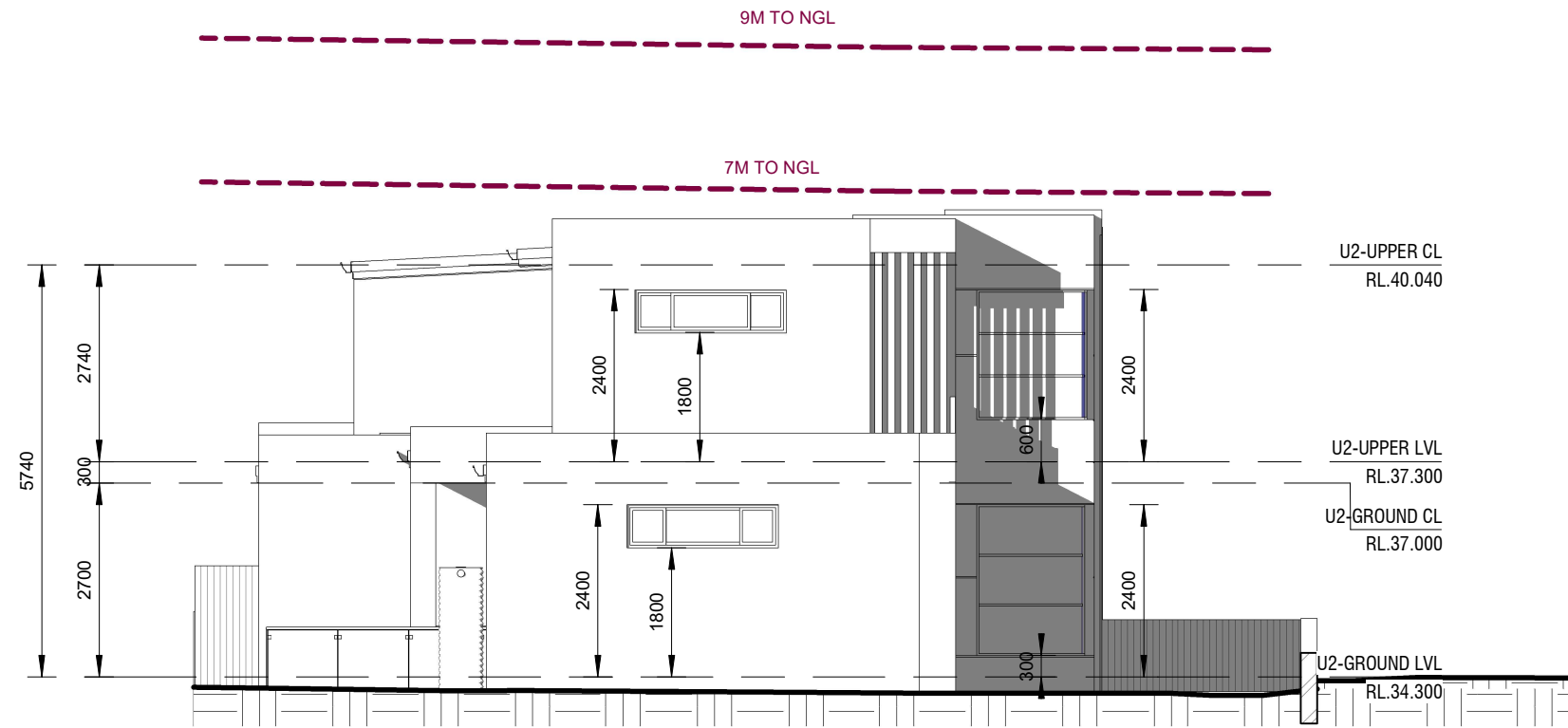
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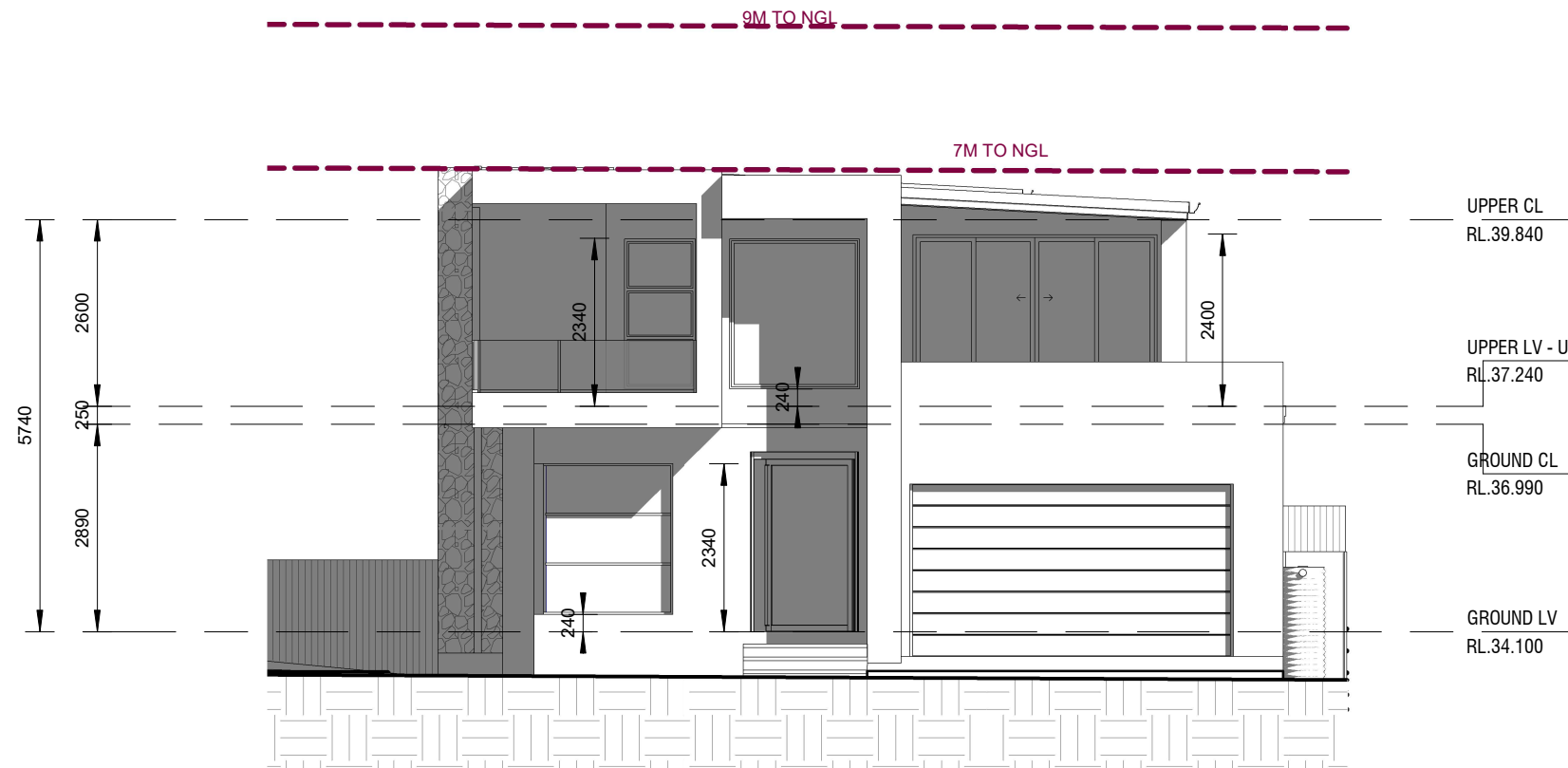
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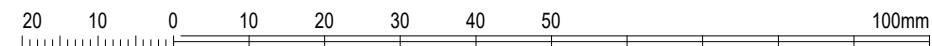
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1 DW2 SOUTH ELEVATION
SCALE: 1 : 100

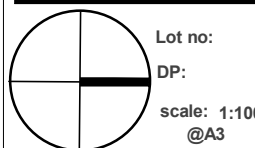


2 DW1 NORTH ELEVATION
SCALE: 1 : 100



A04.01

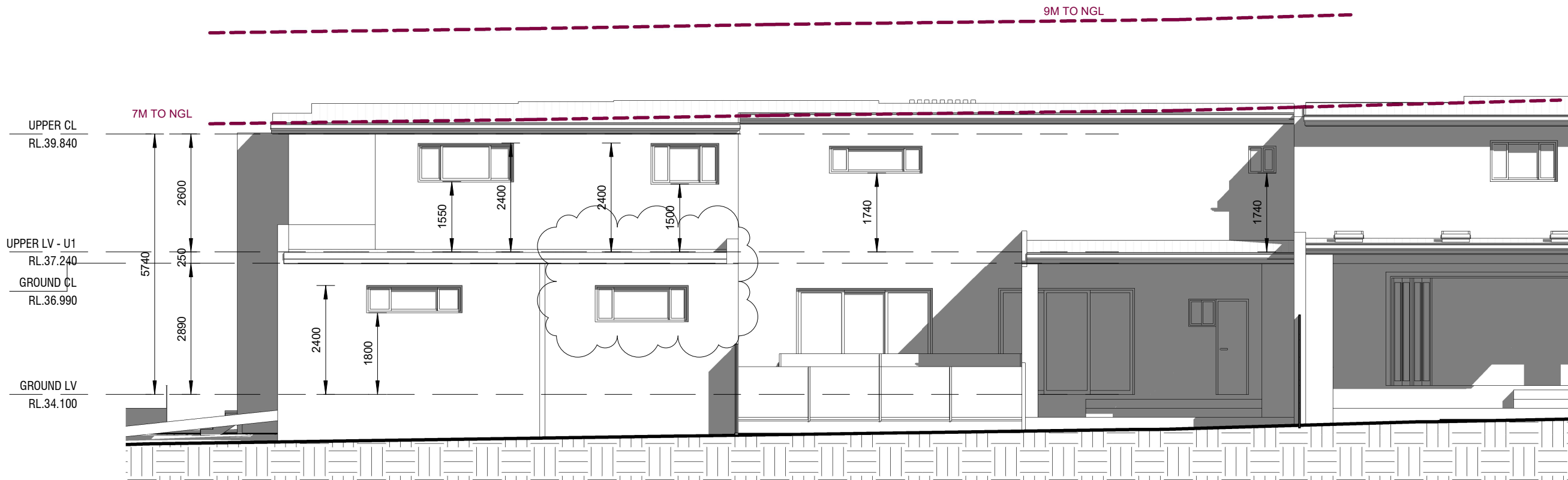
ELEVATIONS
Sheet Name: 9 DOUST STREET, BASS HILL
Address: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS
Project Name:



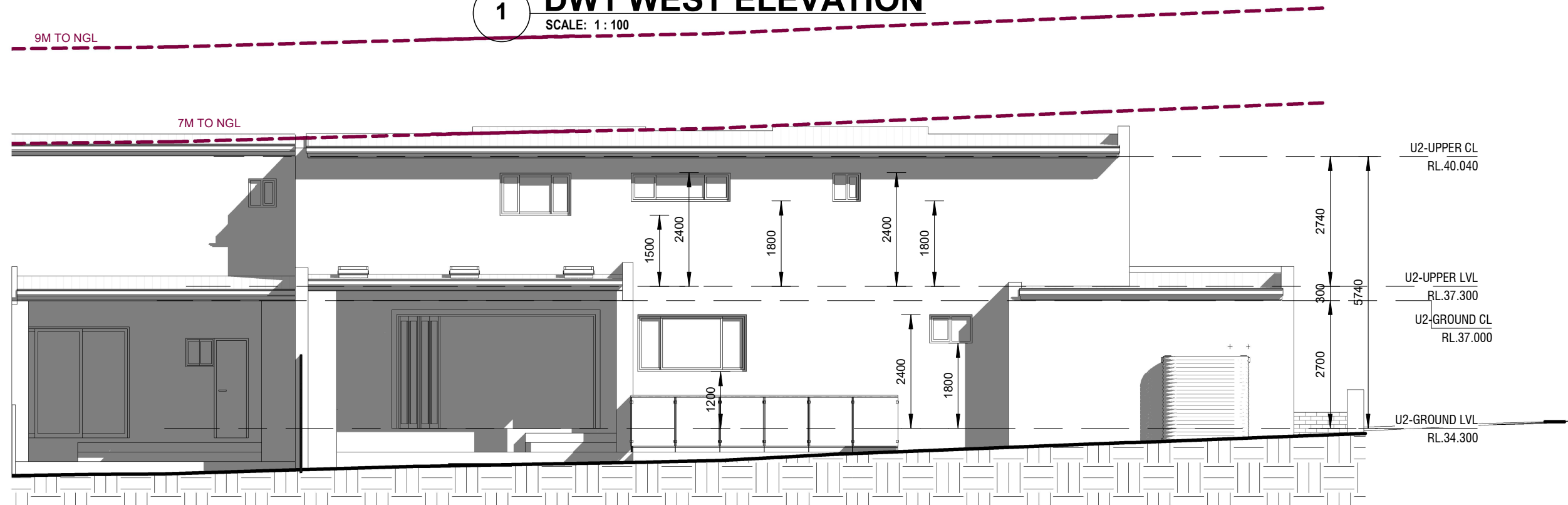
Lot no:
DP:
scale: 1:100
@A3
Client: SAAD
Drawn by :AK

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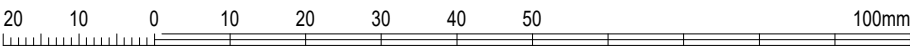
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1 DW1 WEST ELEVATION
SCALE: 1 : 100



2 DW2 WEST ELEVATION
SCALE: 1 : 100





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A04.02

ELEVATIONS

Sheet Name: 9 DOUST STREET, BASS HILL

Address: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS

Project Name:

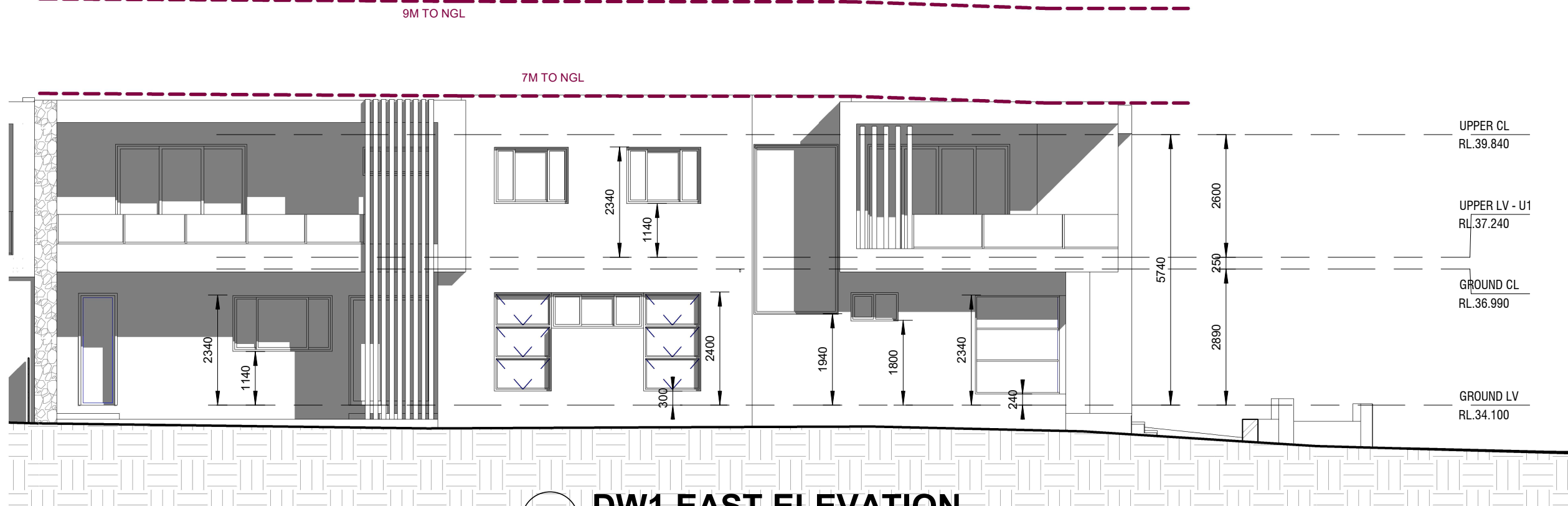
Lot no:
DP:
scale: 1:100
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Client: SAAD

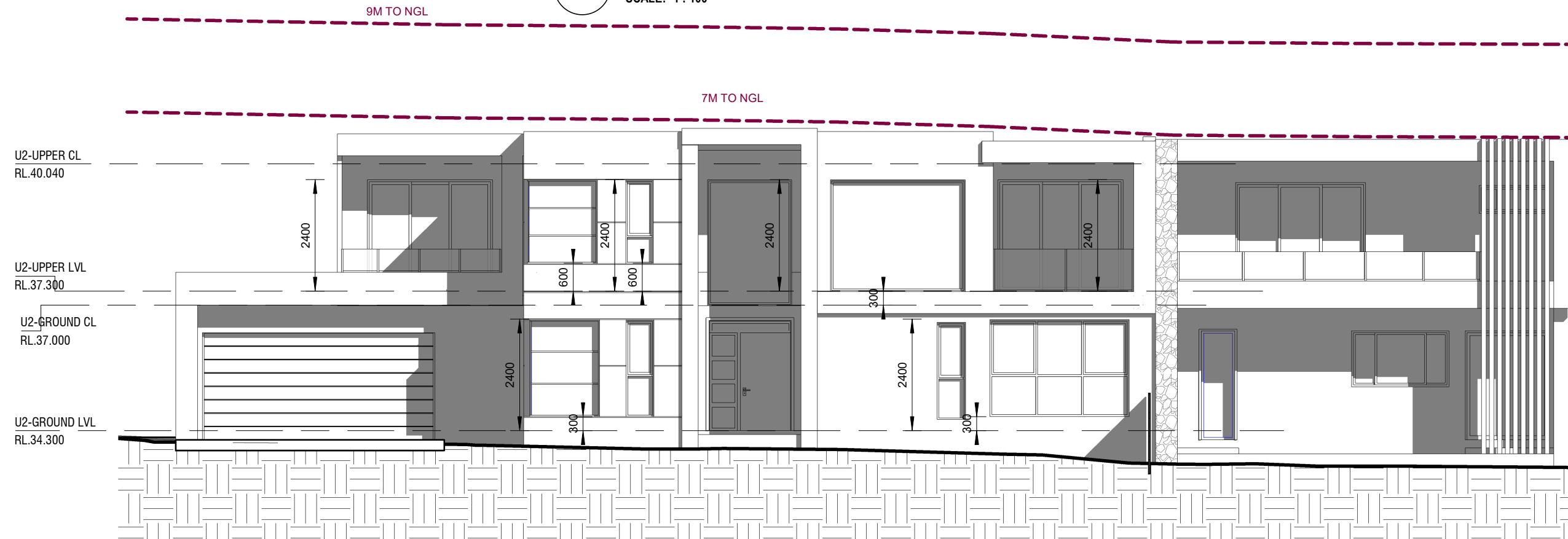
Drawn by :AK

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		DATE	ISSUE
05/11/2023	A1		

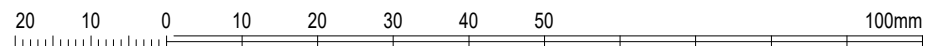
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1 **DW1 EAST ELEVATION**
SCALE: 1 : 100



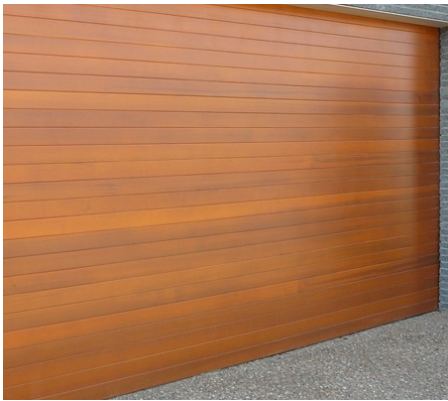
2 **DW2 EAST ELEVATION**
SCALE: 1 : 100



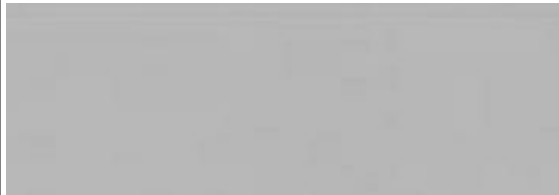
ISSUE	DATE	MODIFICATION	
		ISSUE	REVISION
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01:GREY RENDER



07:SELECTED TIMBER COLOUR



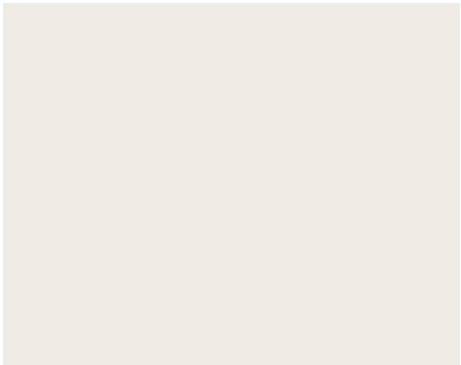
02:GREY RENDER



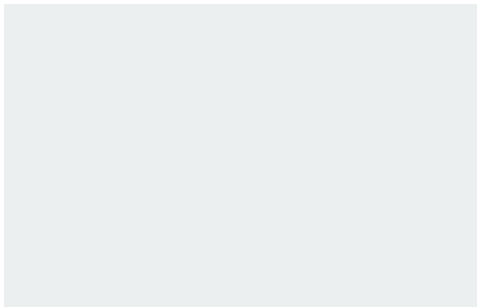
03: GLASS BALUSTRADE



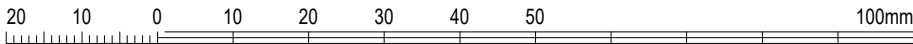
04: ALUMINIUM WINDOWS & DOORS



05: NATURAL WHITE RENDER



06:WHITE RENDER





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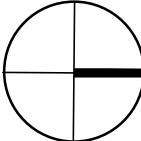
bdqa
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A05

Sheet Name: 3D VIEW & SCHEDULE OF FINISHES

Address: 9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS



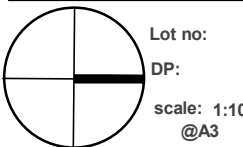
Lot no:
DP:
scale: 1:100
@A3

Client: SAAD

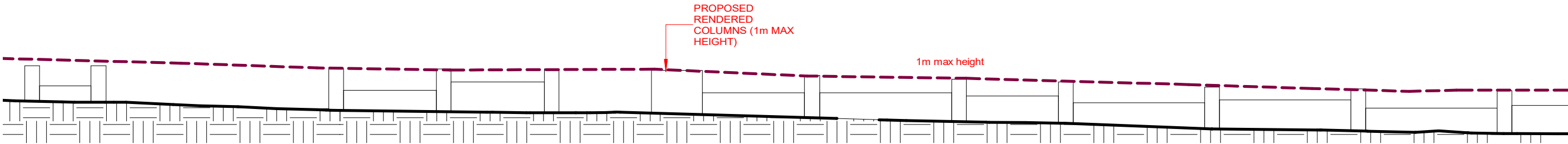
Drawn by :AK

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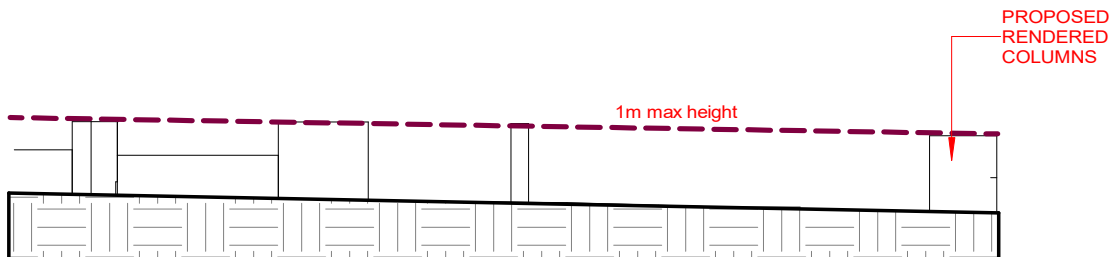
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		DATE



6

DW2 - FENCE DETAILS

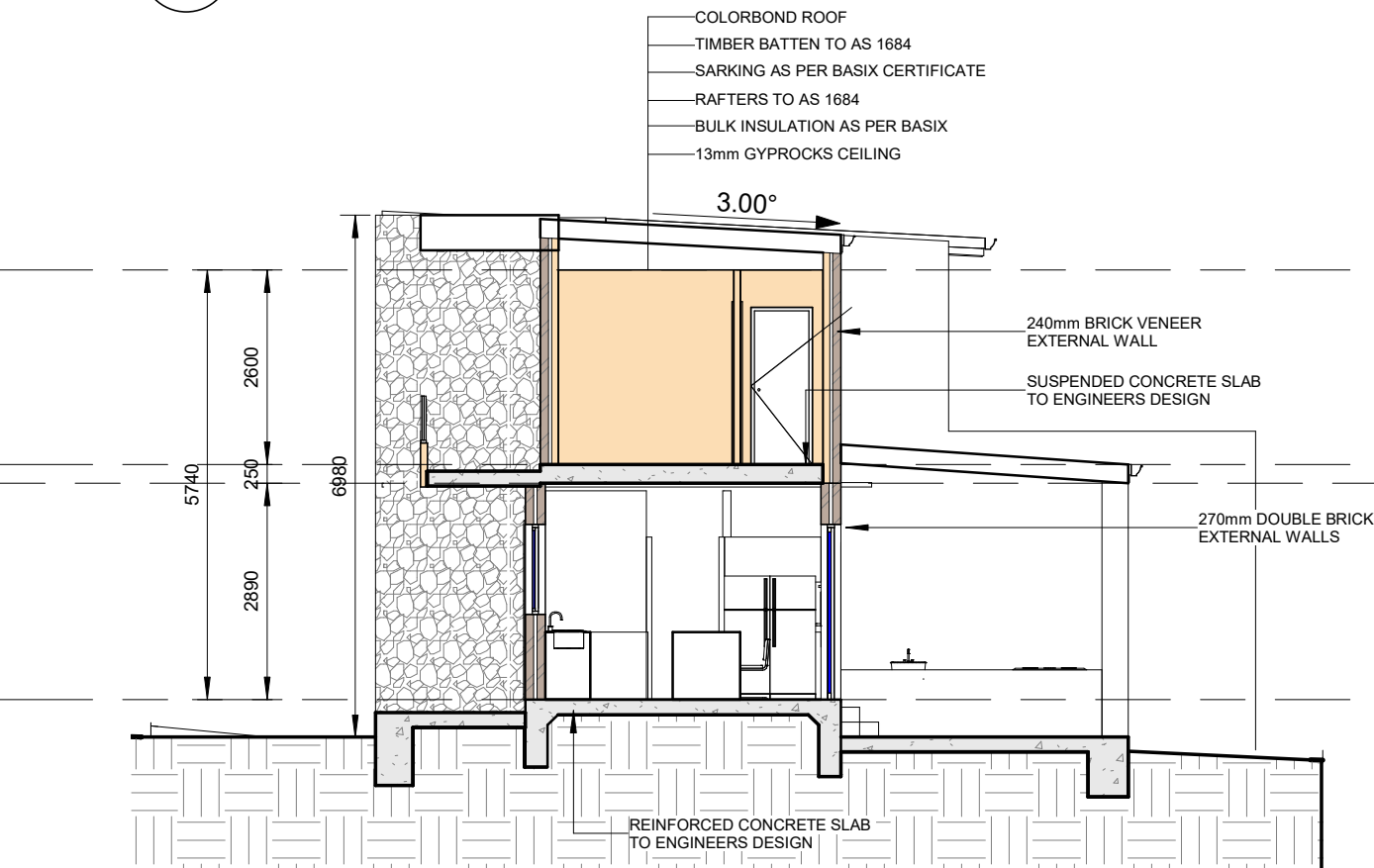
SCALE: 1 : 100



5

DW1 - FENCE DETAILS

SCALE: 1 : 100



3

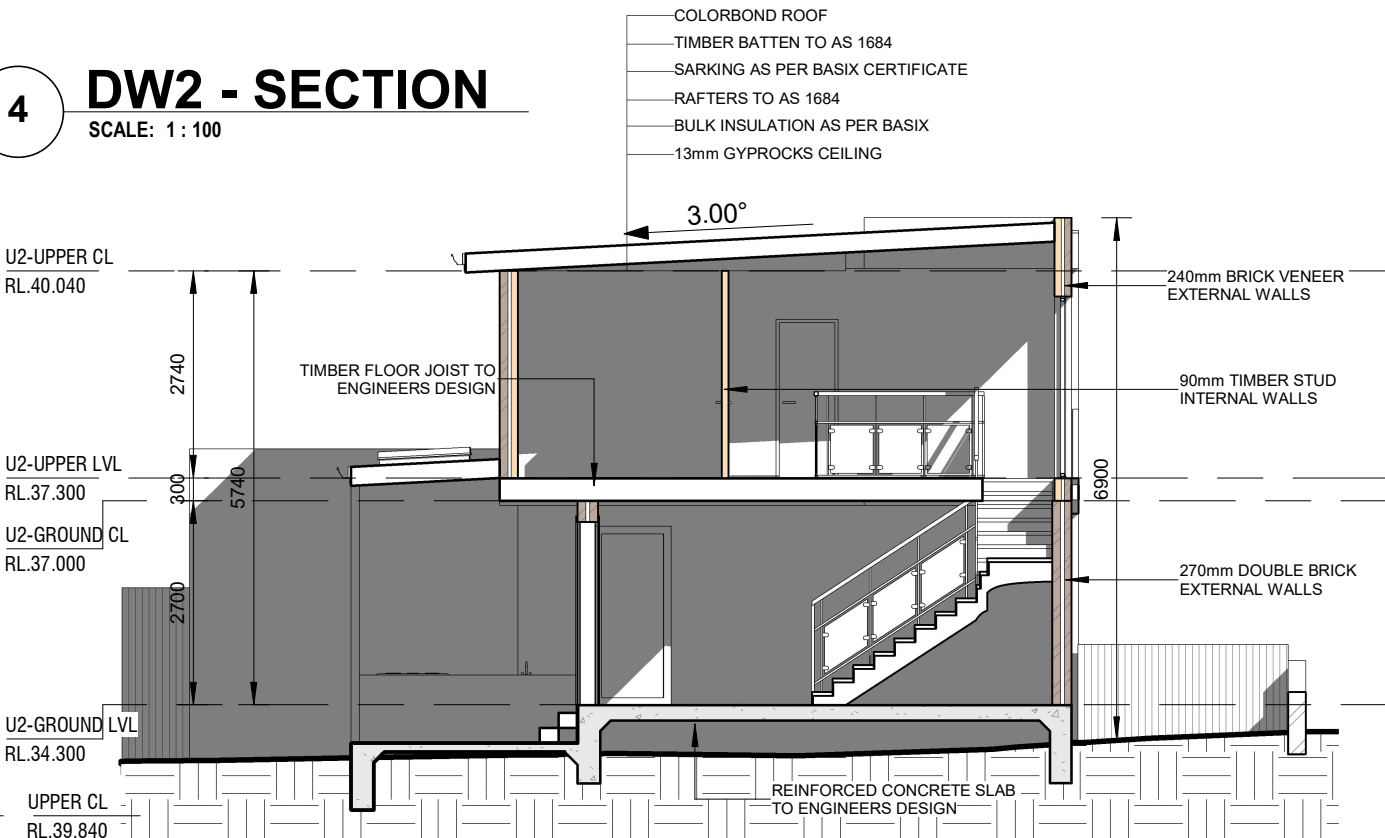
DW1 - SECTION

SCALE: 1 : 100

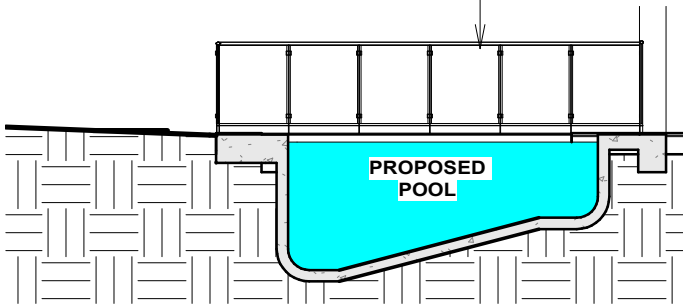
4

DW2 - SECTION

SCALE: 1 : 100



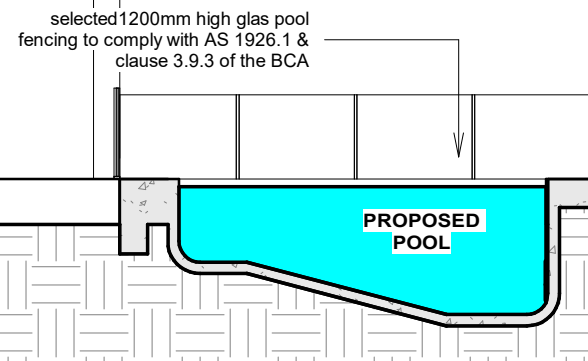
selected 1200mm high glas pool
fencing to comply with AS 1926.1 &
clause 3.9.3 of the BCA



2

DW2 - POOL SECTION

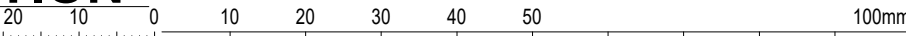
SCALE: 1 : 100



1

DW1 - POOL SECTION

SCALE: 1 : 100



No 9

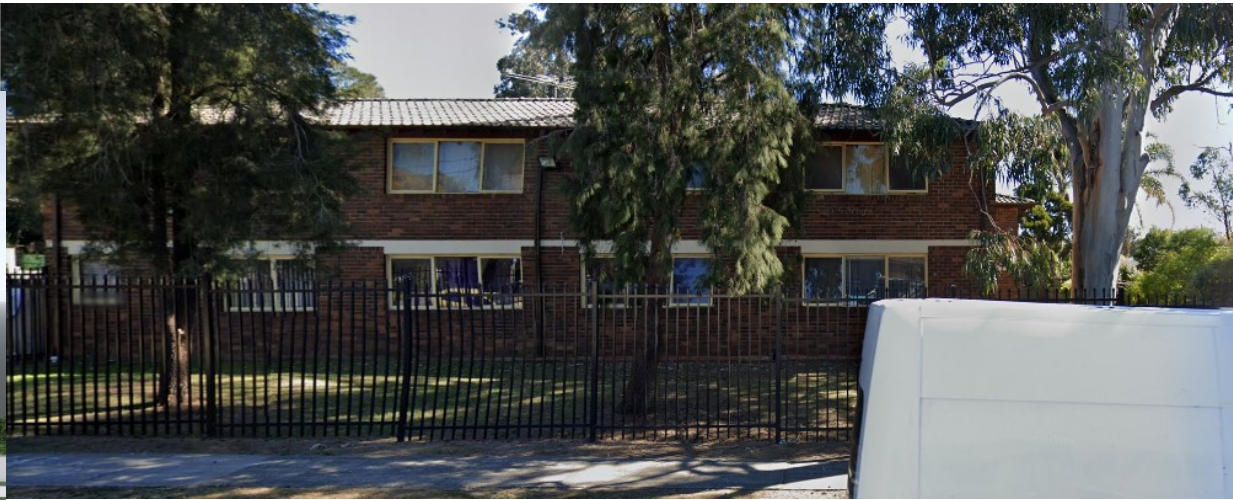


No 11



No 52

No 9

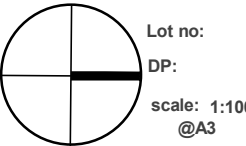


A07

STREETSCAPE ELEVATION

9 DOUST STREET, BASS HILL

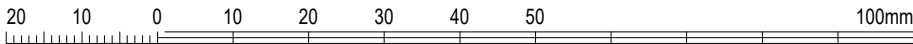
ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS



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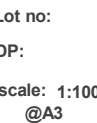


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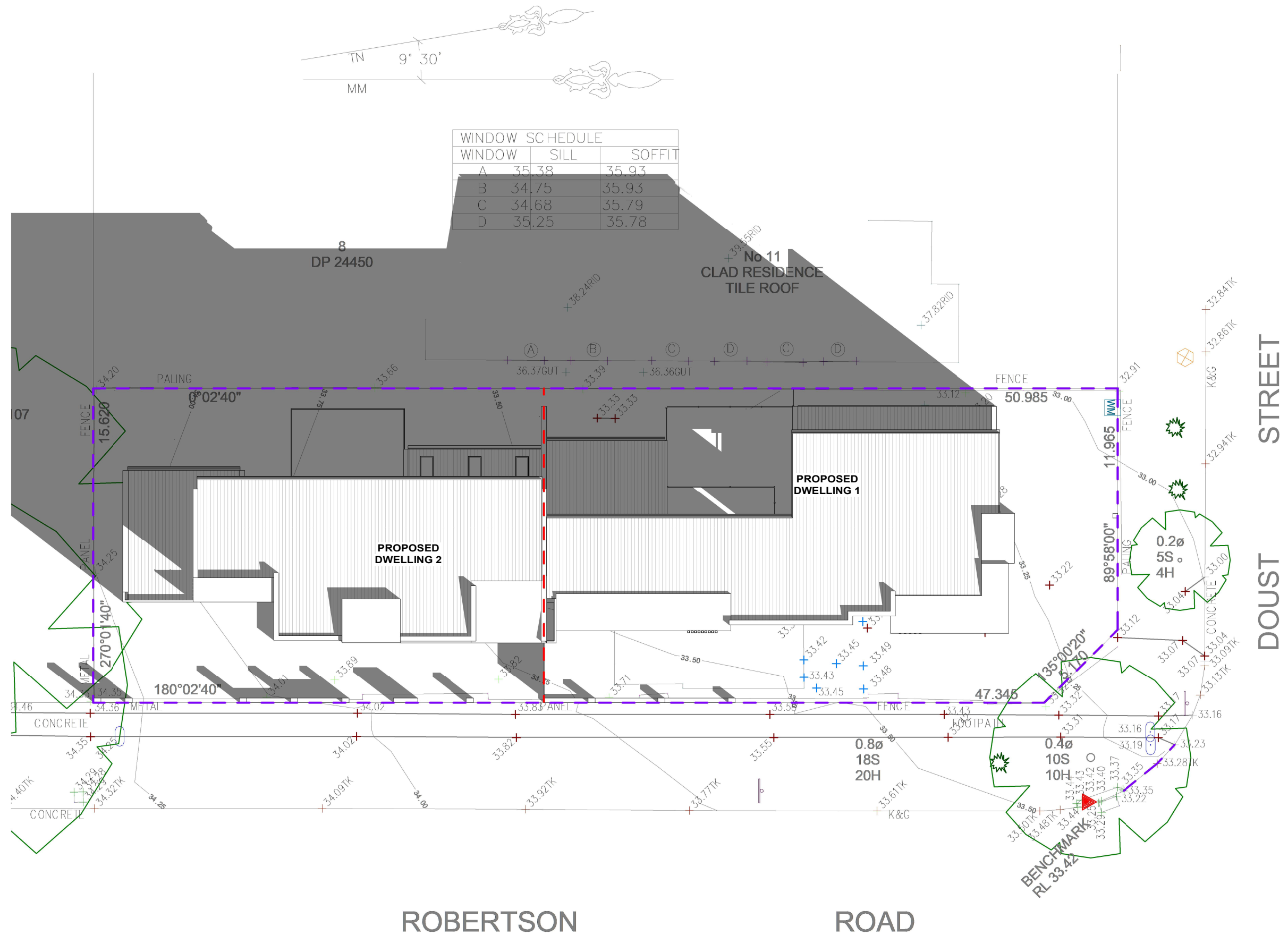
Project Name: AT IACHED DUAL OCCUPANCY WITH SWIMMING POOLS



Drawn by :AK

[illegible]

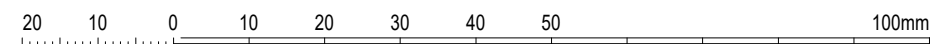
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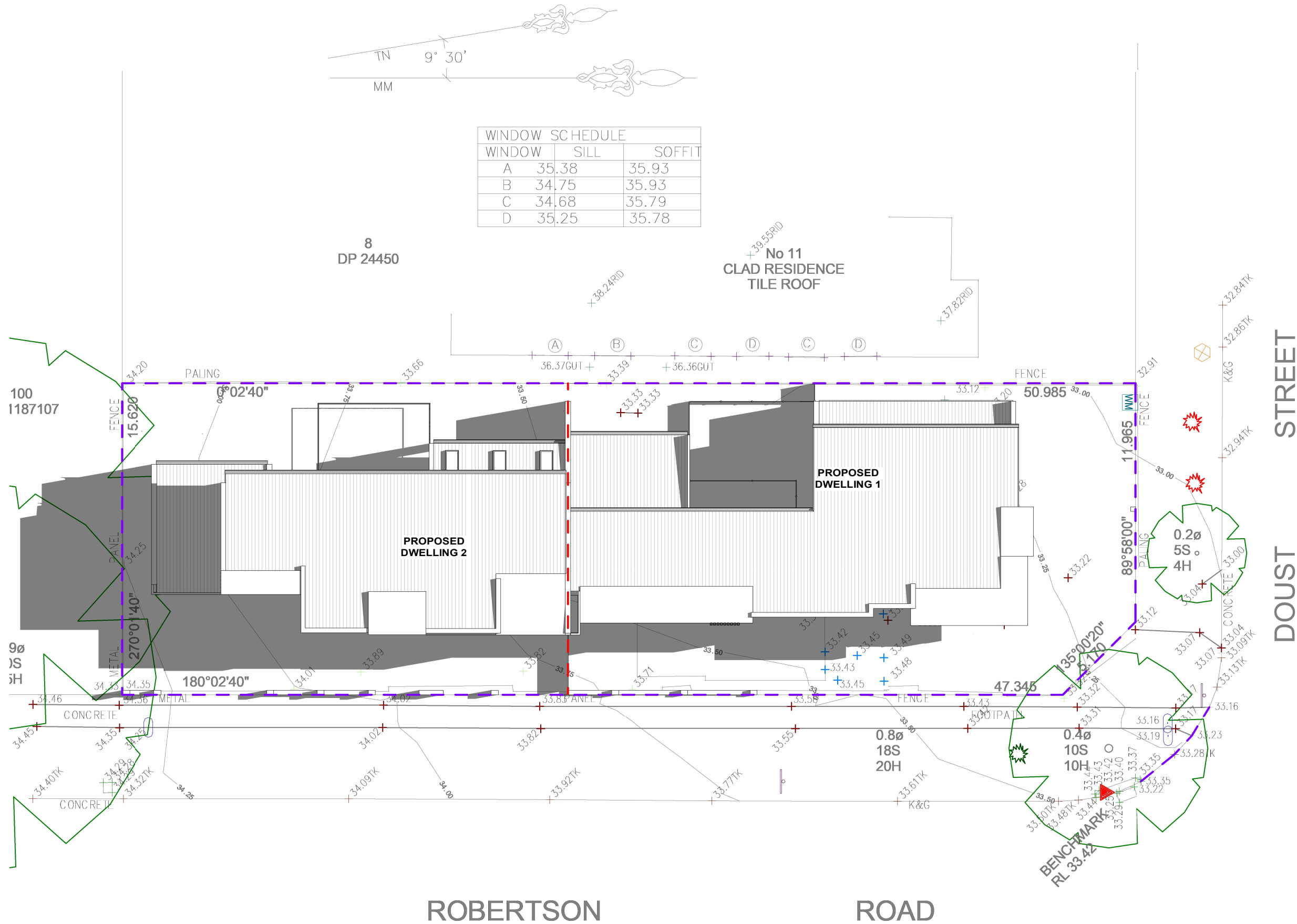


1

SHADOWS DIAGRAM 21 JUNE - 8AM

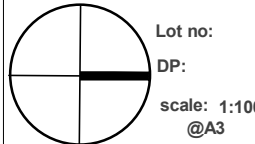
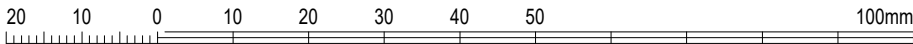
SCALE: 1 : 200





WINDOW SCHEDULE		
WINDOW	SILL	SOFFIT
A	35.38	35.93
B	34.75	35.93
C	34.68	35.79
D	35.25	35.78

1 SHADOWS DIAGRAM 21 JUNE - 12PM
SCALE: 1 : 200



Client: SAAD

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A10

Sheet Name: SHADOWS DIAGRAM - 21ST JUNE, 4PM

Address: 9 DOUST STREET, BASS HILL

Project Name: AT IACHED DUAL OCCUPANCY WITH SWIMMING POOLS



P:

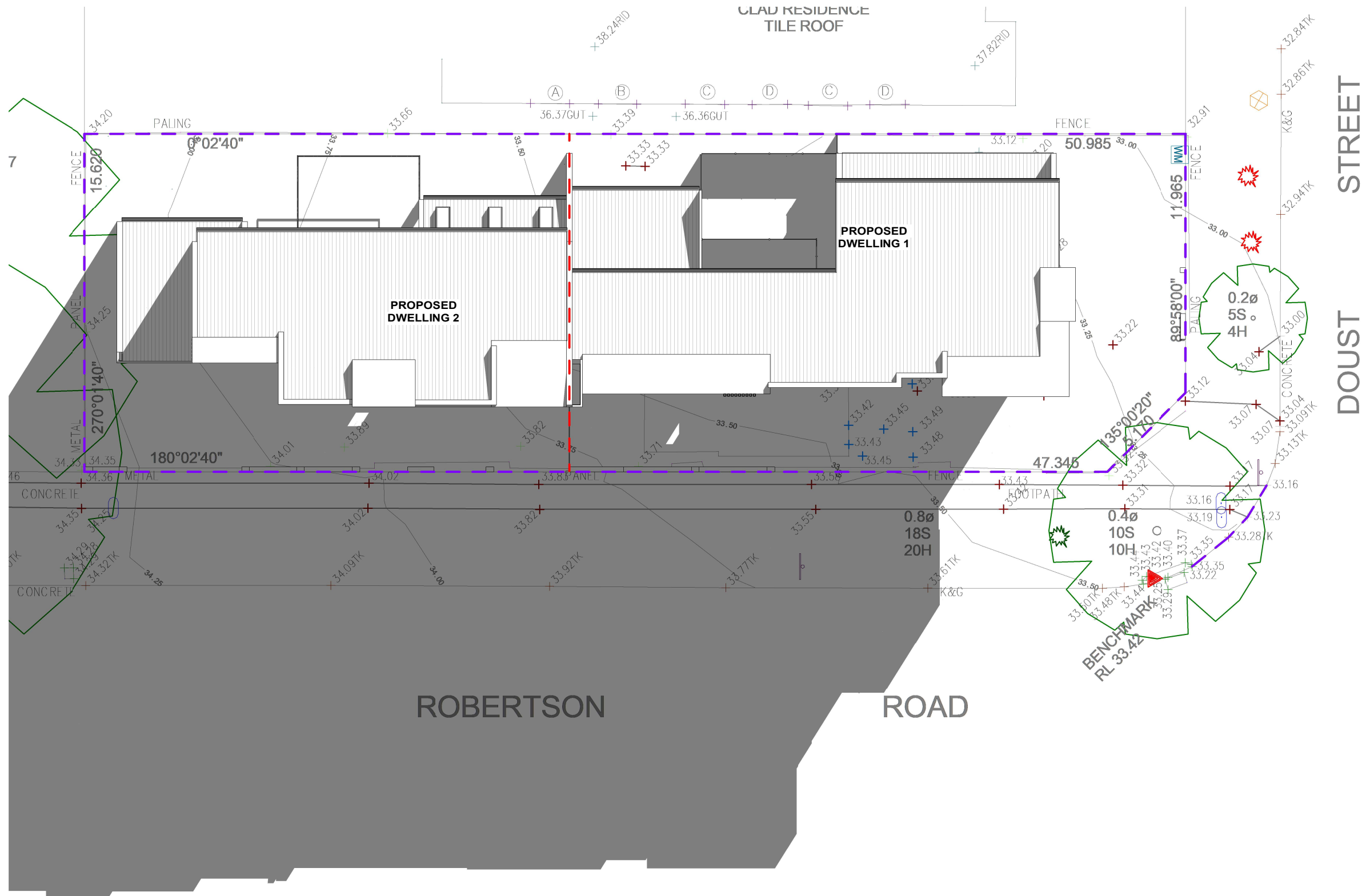
Scale: 1:100
@A3

Client: SAAD

Drawn by :AK

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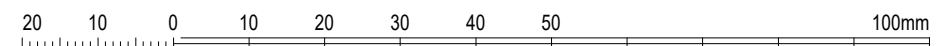
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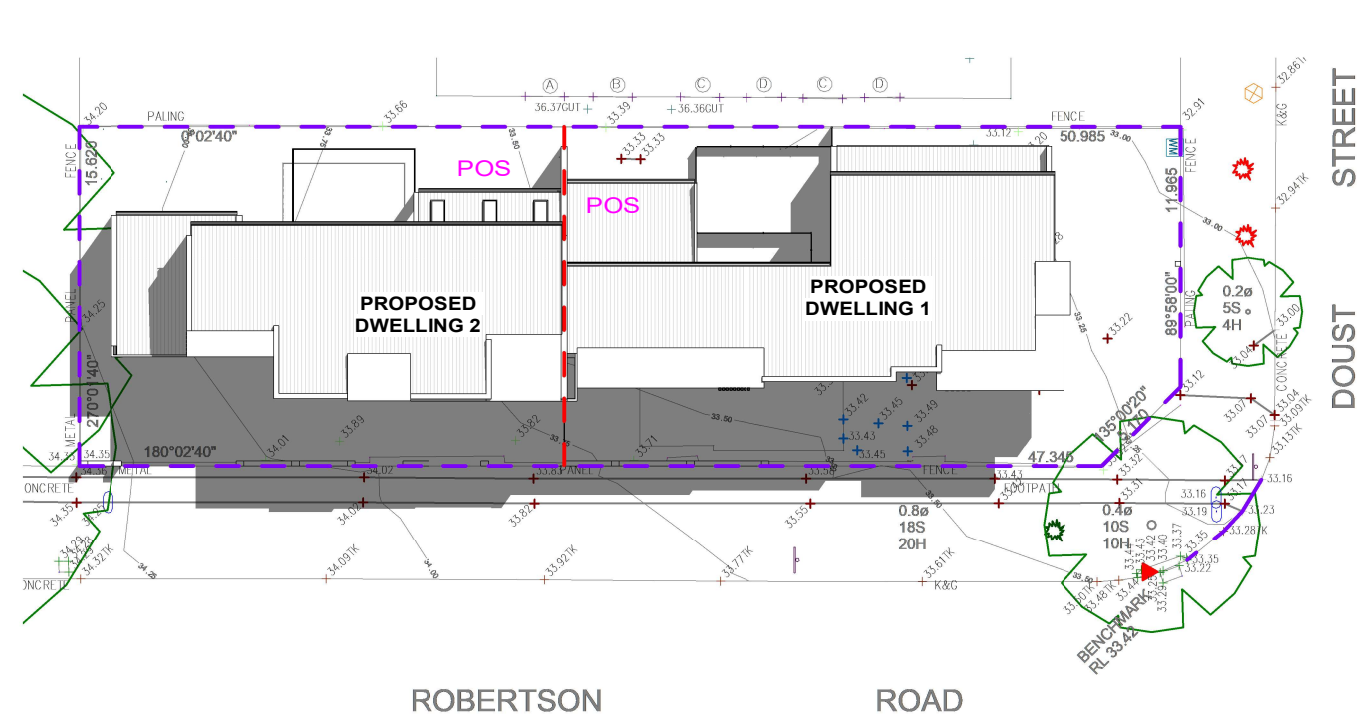
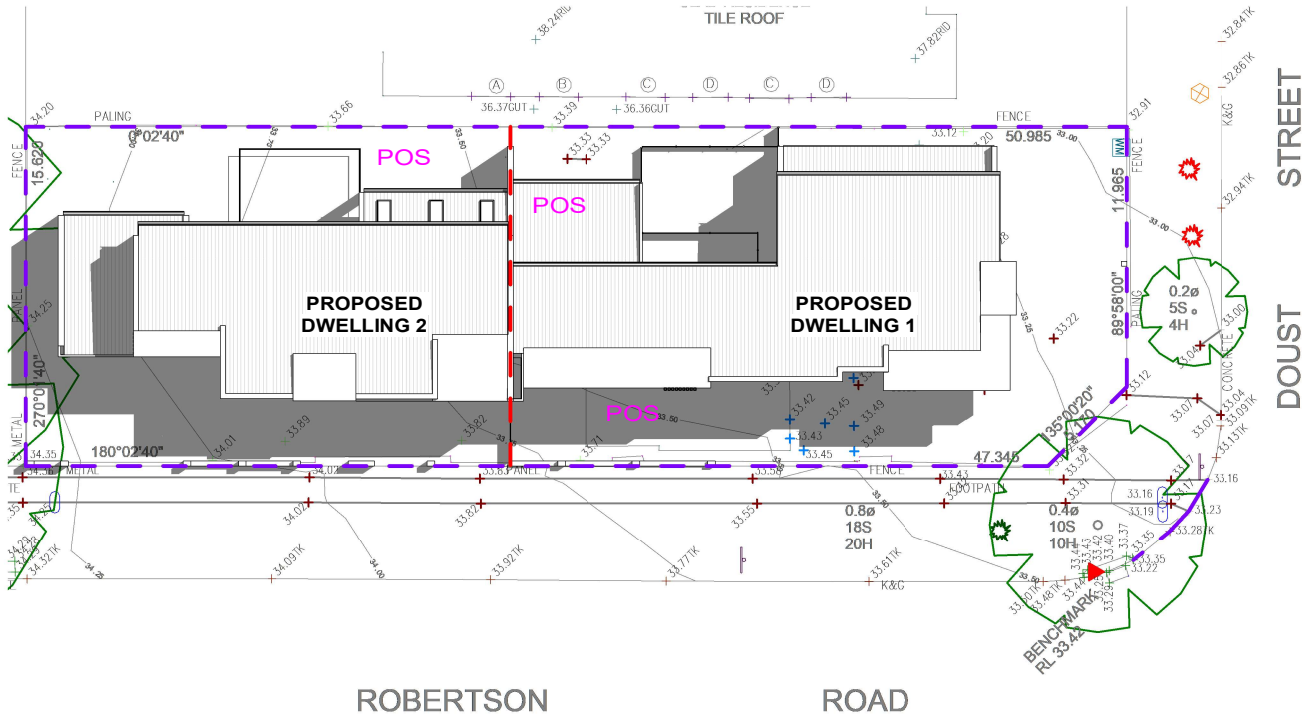


1

SHADOWS DIAGRAM 21 JUNE - 4PM

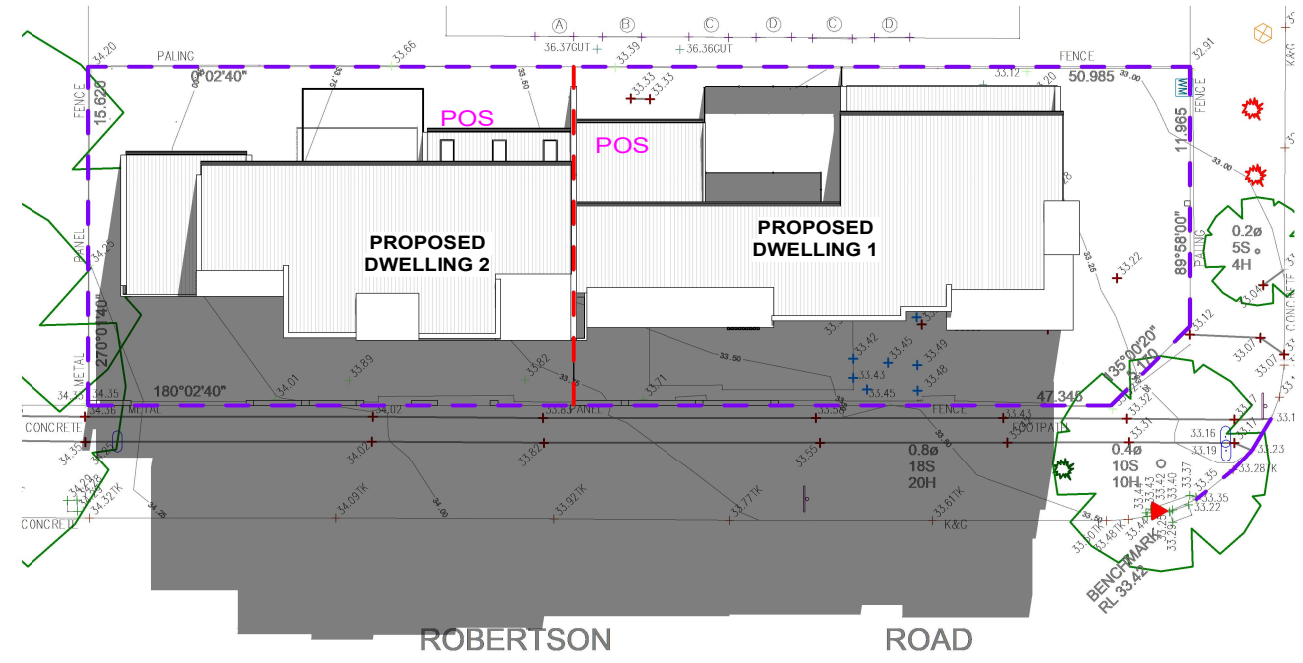
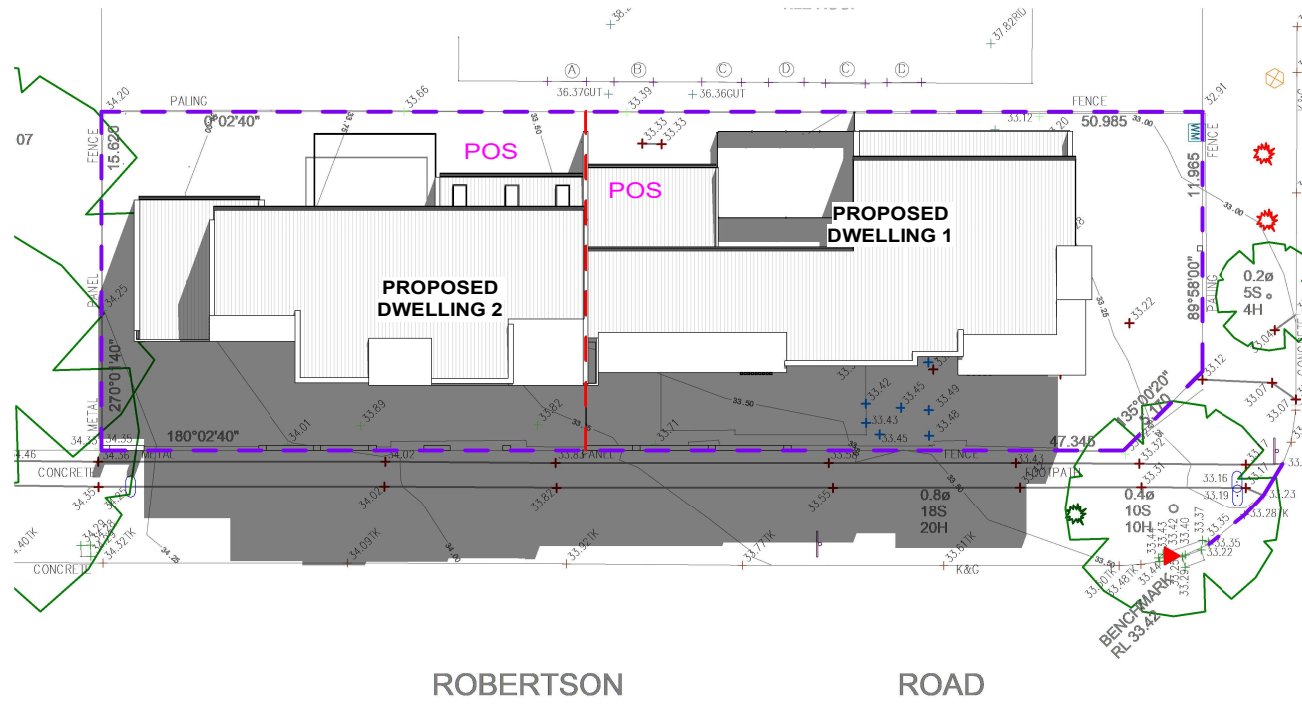
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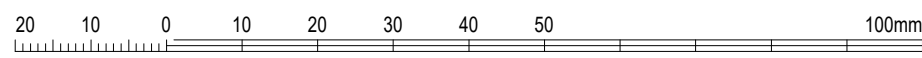
1 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR -1PM
SCALE: 1 : 350

2 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR -2PM
SCALE: 1 : 350



3 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR -3PM
SCALE: 1 : 350

4 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR -4PM
SCALE: 1 : 350



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bdaa BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

A11
Sheet Name: 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR
Address: 9 DOUST STREET, BASS HILL
Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS

Client: SAAD
Drawn by :AK
Lot no:
DP:
scale: 1:100 @A3

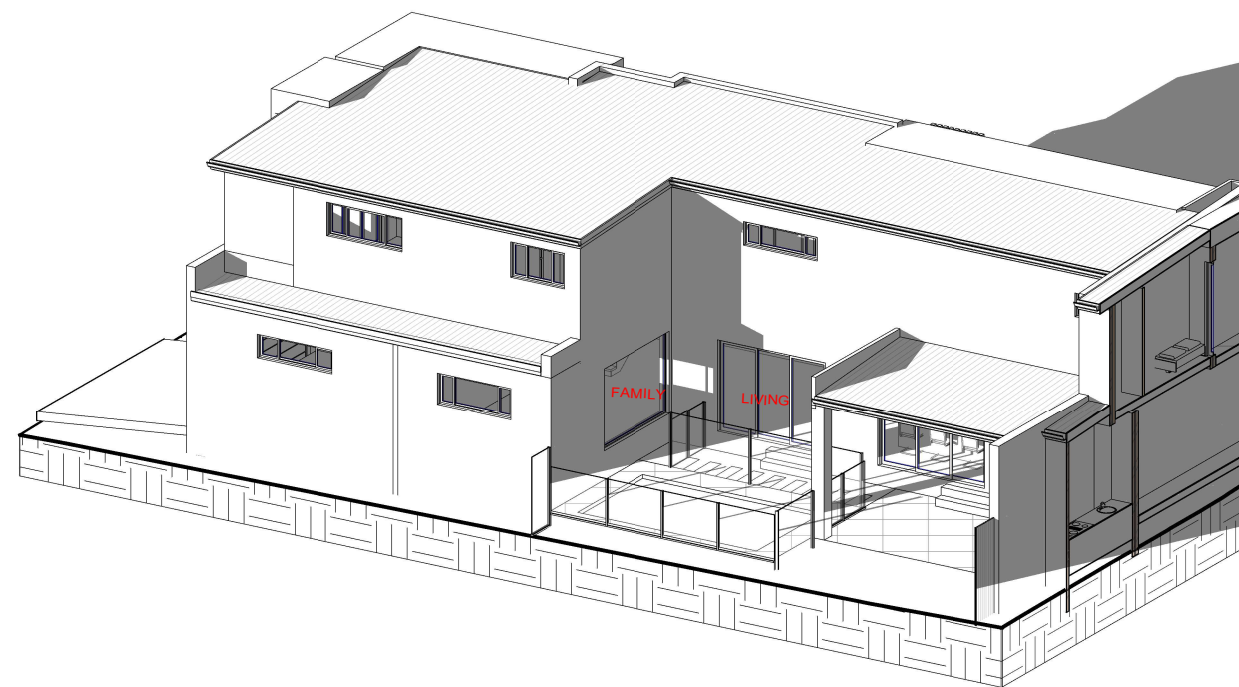
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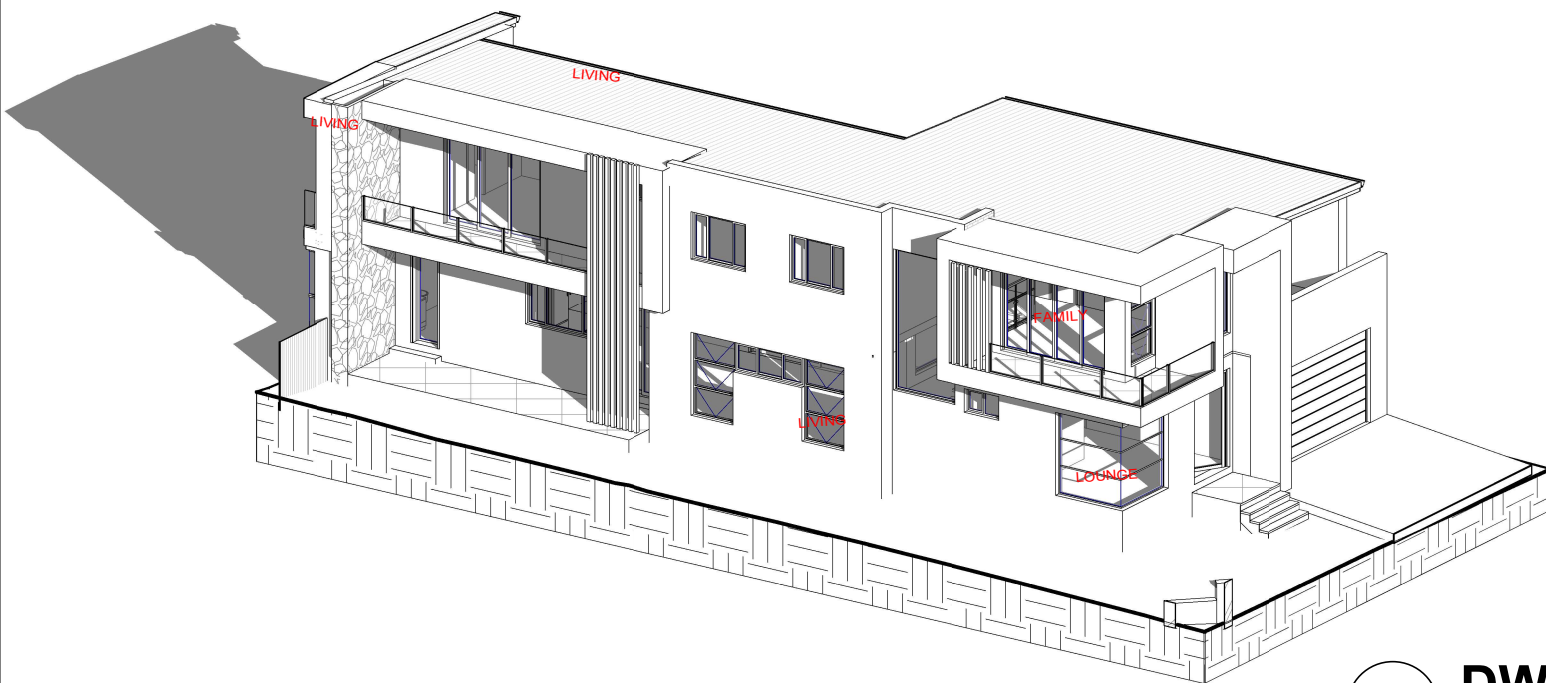
1 DW1 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 8AM

SCALE:



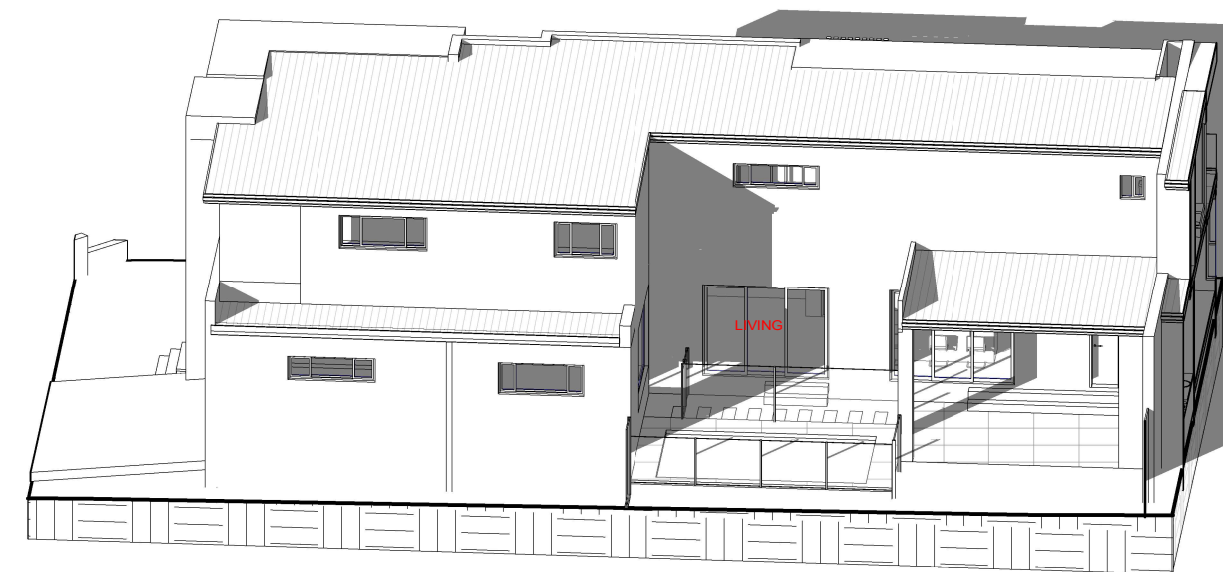
3 DW1 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 4PM

SCALE:



2 DW1 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 9AM

SCALE:



4 DW1 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 3PM

SCALE:



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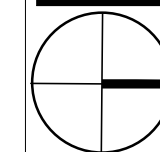


A12

Sheet Name: DW1 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN

Address: 9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS



Lot no:

DP:

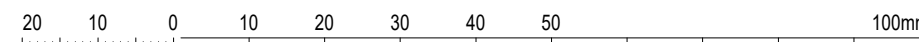
scale: 1:100
@A3

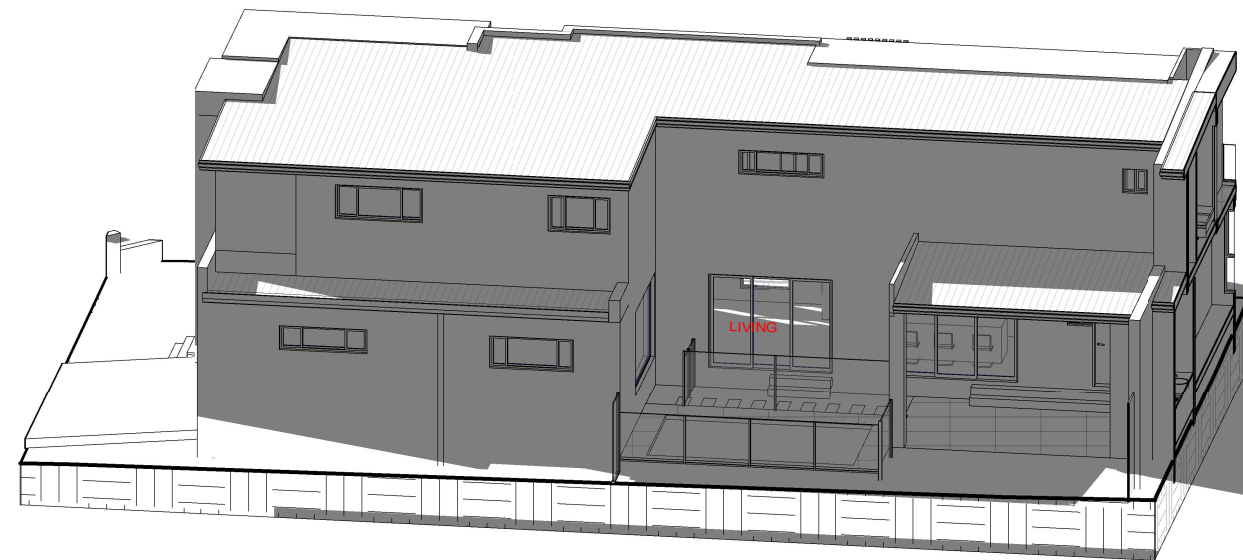
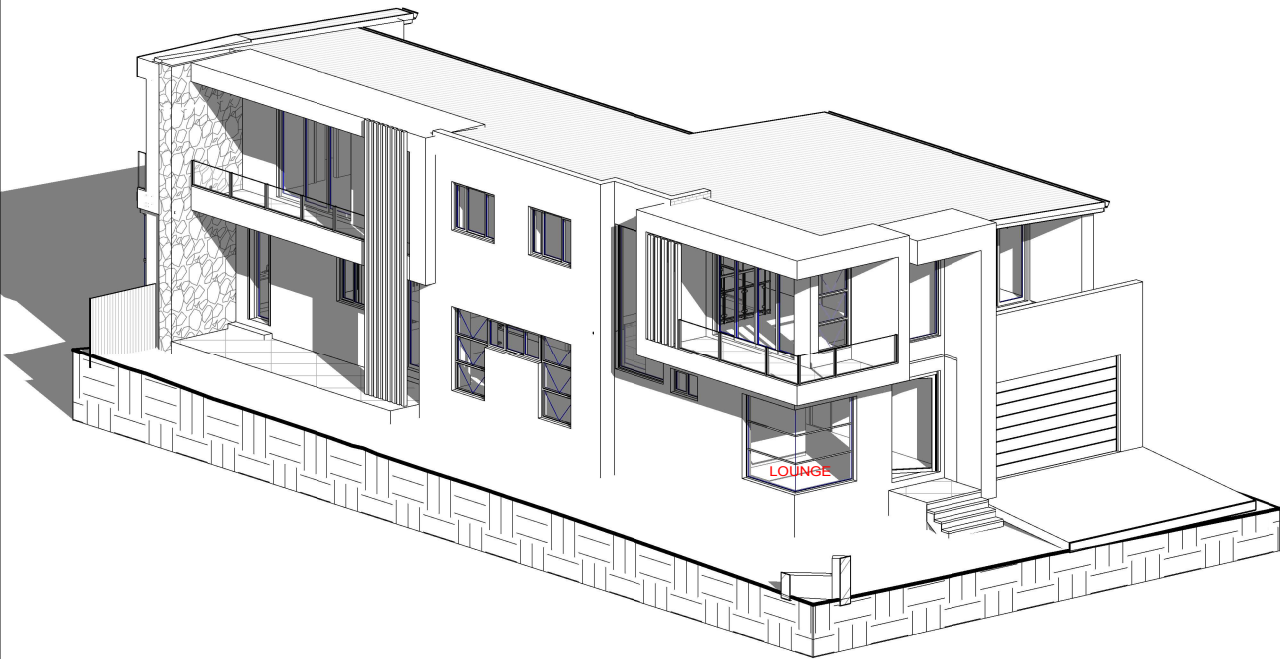
Client: SAAD

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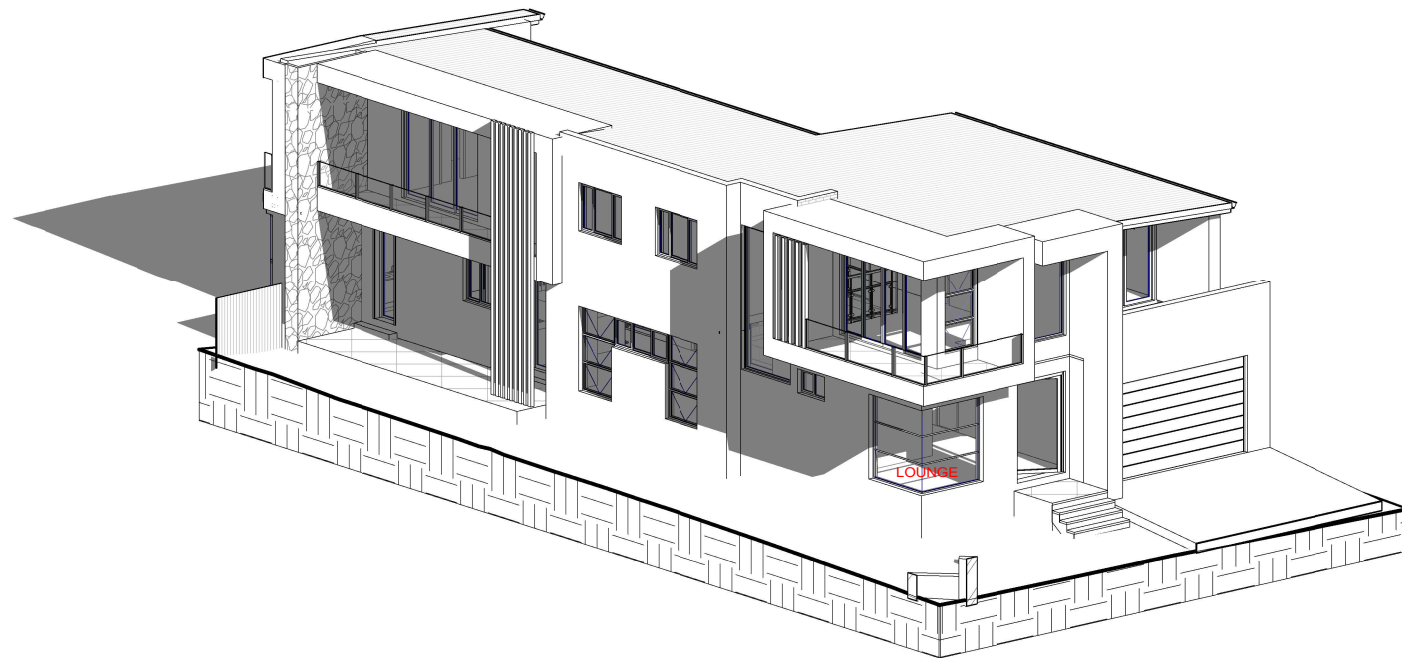
DW1 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 10AM

SCALE:

1

DW1 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 10AM ,LOUNGE

SCALE:



2

DW1 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 11AM ,LOUNGE

SCALE:



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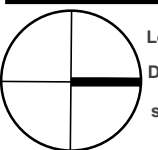


A12.1

Sheet Name: DW1 3 HOURS OF SUNLIGHT TO LIVING

Address: 9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS



Lot no:

DP:

scale: 1:100
@A3

Client: SAAD

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20 10 0 10 20 30 40 50 100mm



5

DW2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 8 AM

SCALE:

6

DW2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 10 AM

SCALE:



2

DW2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 11 AM

SCALE:

1

DW2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 9 AM

SCALE:



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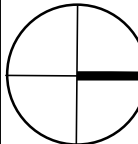
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A13

Sheet Name: DW2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN

Address: 9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS



Lot no:

DP:

scale: 1:100

@A3

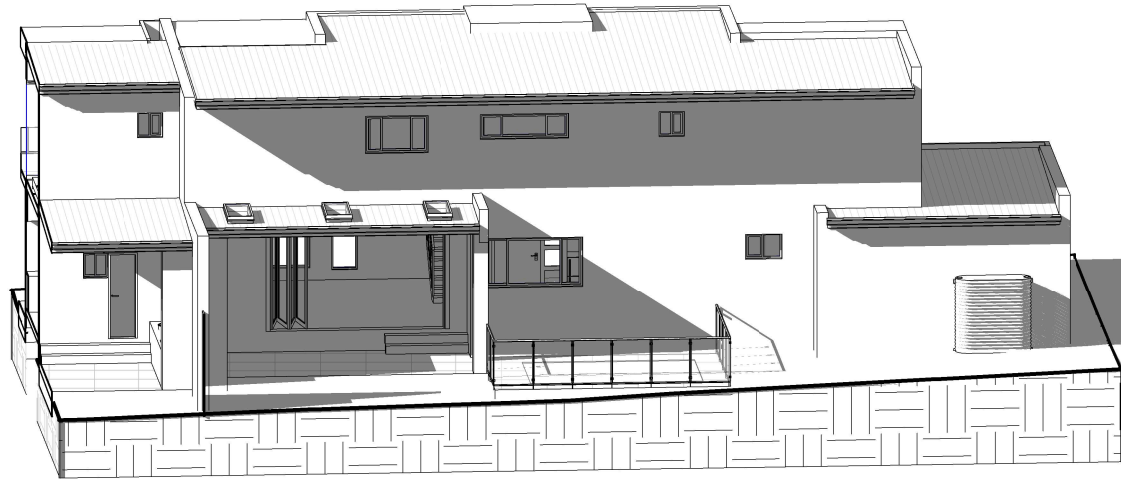
Client: SAAD

Drawn by :AK

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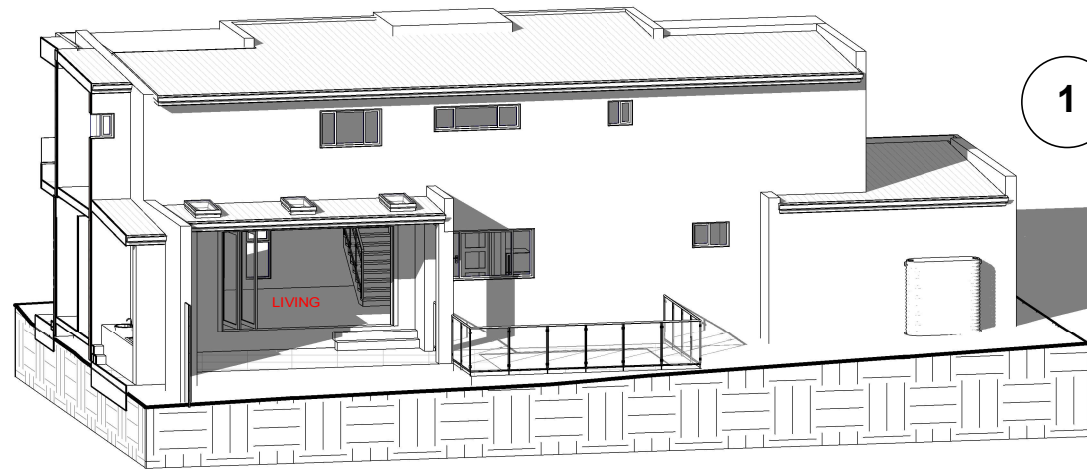
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20 10 0 10 20 30 40 50 100mm

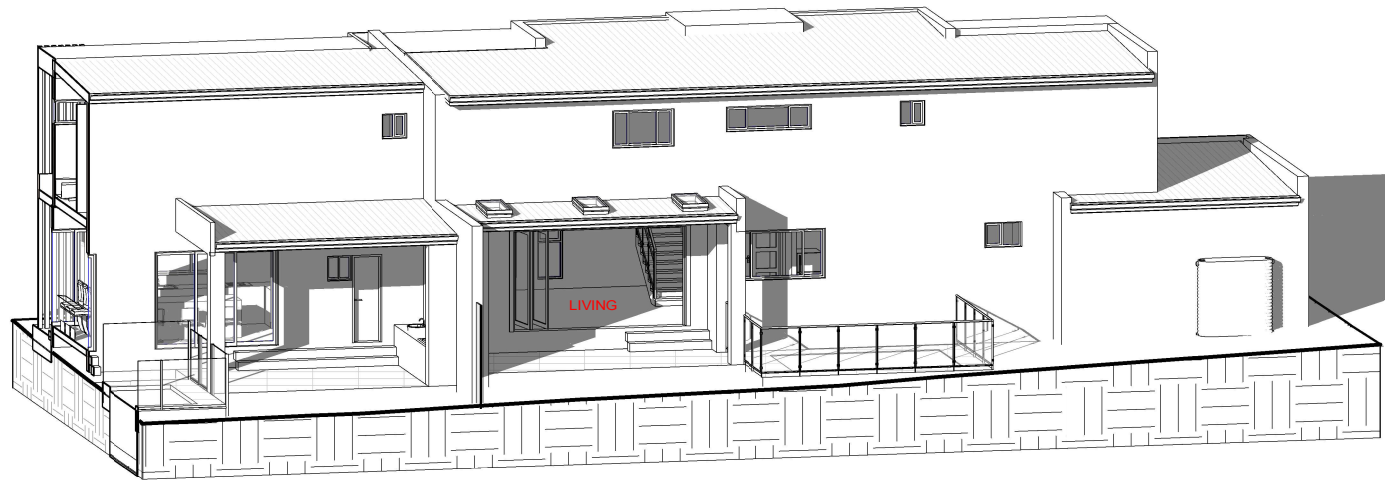


3 DW2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 4PM
SCALE:

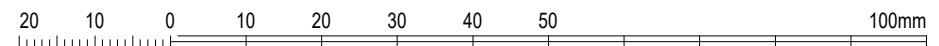
4 DW2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 12PM
SCALE:



1 DW2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 2PM
SCALE:



2 DW2 3 HOURS OF SUNLIGHT TO LIVING - 21ST JUN 3PM
SCALE:



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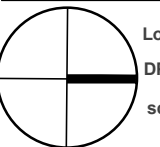


A13.2

Sheet Name: DW2 3 HOURS OF SUNLIGHT TO LIVING

Address: 9 DOUST STREET, BASS HILL

Project Name: ATTACHED DUAL OCCUPANCY WITH SWIMMING POOLS



Lot no:
DP:
scale: 1:100
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Client: SAAD

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permission. do not scale the
drawings. verified all dimensions
on site before commencing work.
all work to australian standards &
the building code of australia.